

# CITY OF SAN ANTONIO

## Zoning Commission Agenda

Cliff Morton Development and Business Services Center  
1901 S. Alamo Street  
Board Room

**Tuesday, June 1, 2010**  
**12:30 PM**

### ZONING COMMISSIONERS

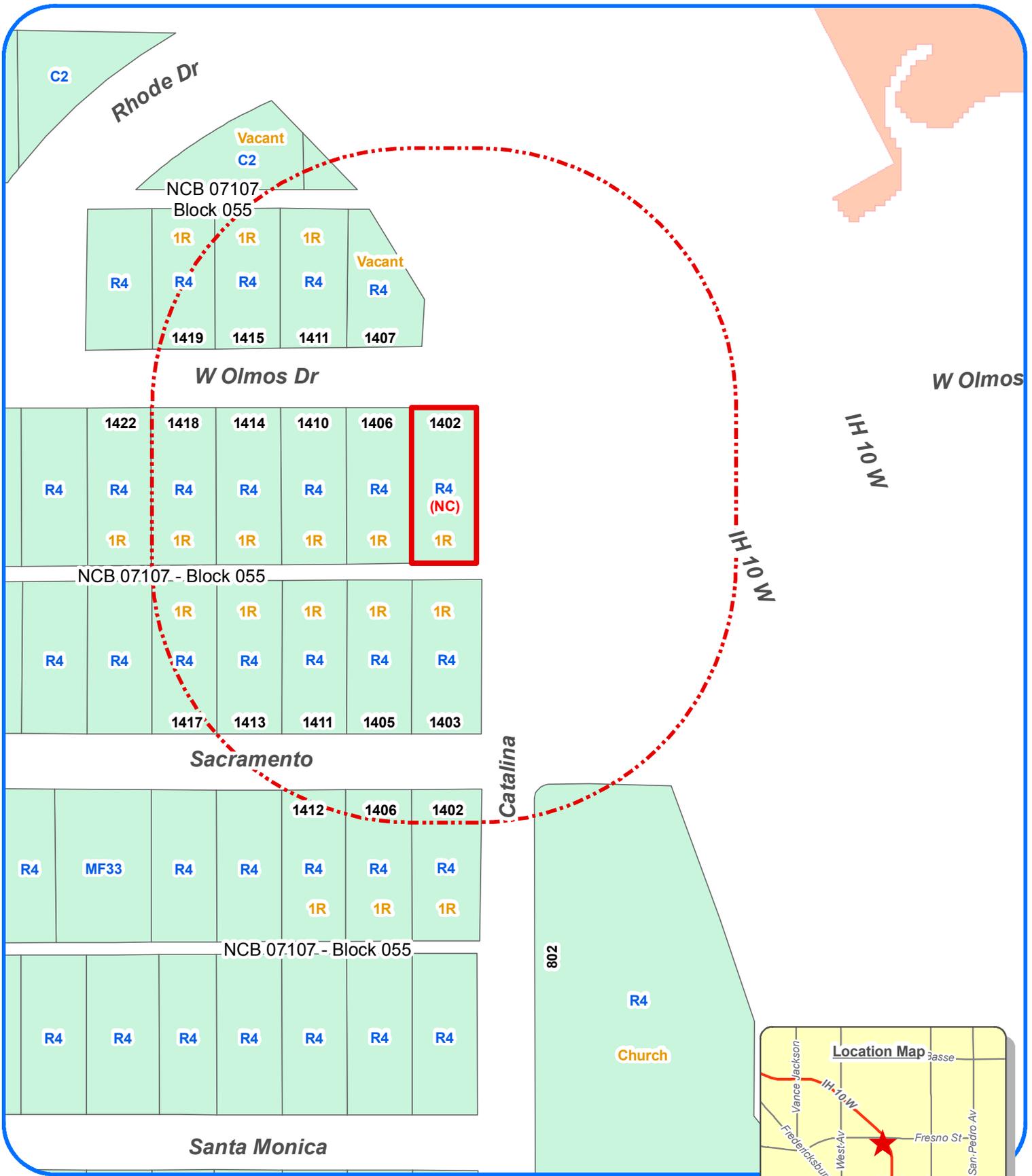
Vacant – District 1	Christopher Martinez – District 6
Bennie Cole – District 2	David Christian – District 7
Andrew Anguiano – District 3	Billy J. Tiller – District 8
Jim Myers – District 4	Milton R. McFarland – District 10
Joe Valadez – District 5	Brenna Nava – District Mayor
Susan Wright – District 9 Chair	

1. **12:30 PM** - Work Session briefing on Mission Reach Coordinated Management Plan by City Center Development Office, discussion of policies and administrative procedures and any items for consideration on the agenda for June 1, 2010.
2. **1:00 P.M.** Board Room– Call to Order.
3. Roll Call.
4. Pledge of Allegiance.
5. Approval of May 18, 2010 Zoning Commission Minutes.
6. **ZONING CASE NUMBER Z2010090:** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District to “NC AHOD” Neighborhood Commercial Airport Hazard Overlay District on Lot 10, Block 46, NCB 7106, 1402 West Olmos Drive. (Council District 1)
7. **ZONING CASE NUMBER Z2010099 CD:** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Airport District to “R-4 CD AHOD” Residential Single-Family Airport Hazard Airport District with a Conditional Use for a Professional Office on Lot 13, Block 7, NCB 9120, 303 West Mandalay Drive. (Council District 1)
8. **ZONING CASE NUMBER Z2010101:** A request for a change in zoning from “R-5 AHOD” Residential Single-Family Airport Hazard Overlay District to “NC AHOD” Neighborhood Commercial Airport Hazard Overlay District on Lot 13, Block 5, NCB 13012, 4503 Duquesne. (Council District 8)
9. **ZONING CASE NUMBER Z2010102:** A request for a change in zoning from “I-2 AHOD” Heavy Industrial Airport Hazard Overlay District to “O-2 IDZ AHOD” Office Infill Development Zone Airport Hazard Overlay District on Lots 1 through 20, Block 82, NCB 192, 127 North Comal Street. (Council District 5)

10. **ZONING CASE NUMBER Z2010085 ERZD:** A request for a change in zoning from multiple zoning districts to multiple zoning districts with the adoption and application of the Bulverde Road Preservation Corridor District (PC-1) on multiple lots located within the municipal boundary of the City of San Antonio and located within 300 feet of the outer right-of-way boundary line of Bulverde Road between Evans Road to the north and North Loop 1604 East to the south. (Council Districts 9 and 10)
11. **Executive Session:** consultation on attorney-client matters (real estate, litigation, personnel and security matters) as well as any of the above agenda items may be discussed.
12. **ADJOURNMENT.**

**Accessibility Statement**

This meeting is wheelchair accessible. Accessible entrances are located at the front and side of the building at 1901 South Alamo Street. Accessible parking spaces are located at the front and rear of the building. **Auxiliary Aids and Services are available upon request (Interpreters for the Deaf must be requested forty-eight [48] hours prior to the meeting).** For Assistance, Call (210) 207-7245 Voice/TTY.



## Zoning Case Notification Plan

### Case Z-2010-090

Council District 1

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 07106 - Block 046 - Lot 10

#### Legend

- Subject Property (0.1377 Acres)
- 200' Notification Buffer
- Current Zoning **TEXT**
- Requested Zoning Change **TEXT**
- 100-Year DFIRM Floodplain



Planning & Development Services Dept  
 City of San Antonio  
 (04/21/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2010090

## Final Staff Recommendation - Zoning Commission

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**Date:** June 1, 2010

Continuance (Applicant's request) from May 4, 2010

**Council District:** 1

**Ferguson Map:** 582 B6

**Applicant Name:**  
Jerry Arredondo

**Owner Name:**  
Burl W and Janie L Brock

**Zoning Request:** From "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District to "NC AHOD" Neighborhood Commercial Airport Hazard Overlay District.

**Property Location:** Lot 10, Block 46, NCB 7106

1402 West Olmos Drive

On the southwest side of West Olmos Drive and Catalina Street

**Proposal:** To allow for neighborhood businesses

**Neigh. Assoc.:** The Northwest Los Angeles Heights Neighborhood Association is the nearest registered association

**Neigh. Plan:** Near Northwest Community Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**  
Denial.

The subject property is located northwest of downtown, on the southwest corner of West Olmos Drive and Catalina Street. The subject property currently consists of a vacant single-family dwelling located on one lot and is comprised of approximately 0.1377 of an acre. The surrounding zoning consists of "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District on adjacent properties the west, south and across West Olmos Drive to the north. The existing neighboring land uses are occupied by single-family dwellings or vacant land. Access to the property would be from the existing drive on Catalina Street.

The subject property is located in the Near Northwest Community Plan. The future land use designation for the subject property is Urban Low Density Residential. This land use classification mainly includes single-family houses on individual lots. The applicant applied for a plan amendment, which was heard by the Planning Commission on April 14. The proposed plan amendment request was continued at that time until April 28, for which Planning Commission has recommended denial. The applicant is seeking a plan amendment to remedy the incongruity between the proposed use and the use proscribed by the Near Northwest Community Plan. The Neighborhood Planning and Urban Design Staff Plan Amendment Recommendation is for denial. The Community Plan recommends that the existing housing mix be preserved. Amending the land use plan to Neighborhood Commercial would be incompatible with that goal.

The Neighborhood Commercial land use classification provides for offices, professional services, and shopfront retail uses that are pedestrian oriented. These uses should be located at the intersection of a collector and local street or where an existing commercial area has been established. Structures should have a maximum size of 5,000 square feet or the square footage of an existing building. A majority of the ground floor façade should be composed of windows and parking areas should be located behind the building, with the exception of one row of angled or head-in parking along the street.

**CASE MANAGER:** Pedro Vega 207-7980



# Zoning Case Notification Plan

## Case Z-2010-099 CD

Council District 1

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): NCB 09120 - Block 007 - Lot 13

### Legend

- Subject Property (0.224 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
City of San Antonio  
(05/19/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2010099 CD

## Final Staff Recommendation - Zoning Commission

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**Date:** June 1, 2010

Continuance (Applicant's request) from May 18, 2010

**Council District:** 1

**Ferguson Map:** 582 D5

**Applicant Name:**  
Art Davis

**Owner Name:**  
John B. Dailey and Dorothy M. Dailey

**Zoning Request:** From "R-4 AHOD" Residential Single-Family Airport Hazard Airport District to "R-4 CD AHOD" Residential Single-Family Airport Hazard Airport District with a Conditional Use for a Professional Office.

**Property Location:** Lot 13, Block 7, NCB 9120

303 West Mandalay Drive

On the northwest corner of West Mandalay Drive and San Pedro Avenue

**Proposal:** To allow for a professional office

**Neigh. Assoc.:** Northmoor Neighborhood Association and Olmos Park Terrace Neighborhood Association within 200 feet.

**Neigh. Plan:** North Central Community Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**  
Approval.

The subject property is located in north San Antonio, on the northwest corner of West Mandalay Drive and San Pedro Avenue. There is an existing vacant single-family dwelling on the subject property, which measures approximately 2,152 square feet and was constructed in 1947. The site is limited to one proposed driveway along San Pedro Avenue, a major thoroughfare and one existing driveway along West Mandalay Drive. The primary ingress and egress to the subject property will be from San Pedro Avenue, a major thoroughfare. This eliminates any potential negative impact of traffic being generated by this non-residential use. The subject property was annexed in May of 1940. The property is adjacent to "R-4 AHOD" Residential Single-Family Airport Hazard Airport District to the west with "O-2 AHOD" Office Airport Hazard Airport District to the north, across West Mandalay Drive to the south and across San Pedro Avenue to the east.

The applicant is requesting a Conditional Use to allow a Professional Office. A Professional Office is identified in the Unified Development Code as a use requiring a minimum zoning district of "O-1" Office District to be allowed by-right. In accordance with Section 35-422, Table 422-1 of the Unified Development Code, any use allowed by-right in the "O-1" Office District may be allowed as a Conditional Use in "R-4" Residential Single-Family District. The application of a Conditional Use provides an opportunity to limit the impact of the proposed use on surrounding properties. The "R-4 CD AHOD" zoning district would limit the scope of use allowed and restrict future occupancy should the use cease for an extended period of time. Further, the base zoning district for the subject property will remain "R-4 AHOD" Residential Single-Family Airport Hazard Airport District. The North Central Neighborhood Community Plan designates future land use for this location as Low Density Residential. The zoning request does not include a change to the base zoning so a finding of consistency is not required. The proposed rezoning would allow re-use of the existing vacant single-family dwelling which would be a substantial improvement to the current conditions of the neighborhood and the surrounding area. Furthermore, the base residential zoning is not proposed to be changed and, therefore, the property may at any time be developed for residential uses in the future. The applicant has submitted the required site plan with all the required information.

# CASE NO: Z2010099 CD

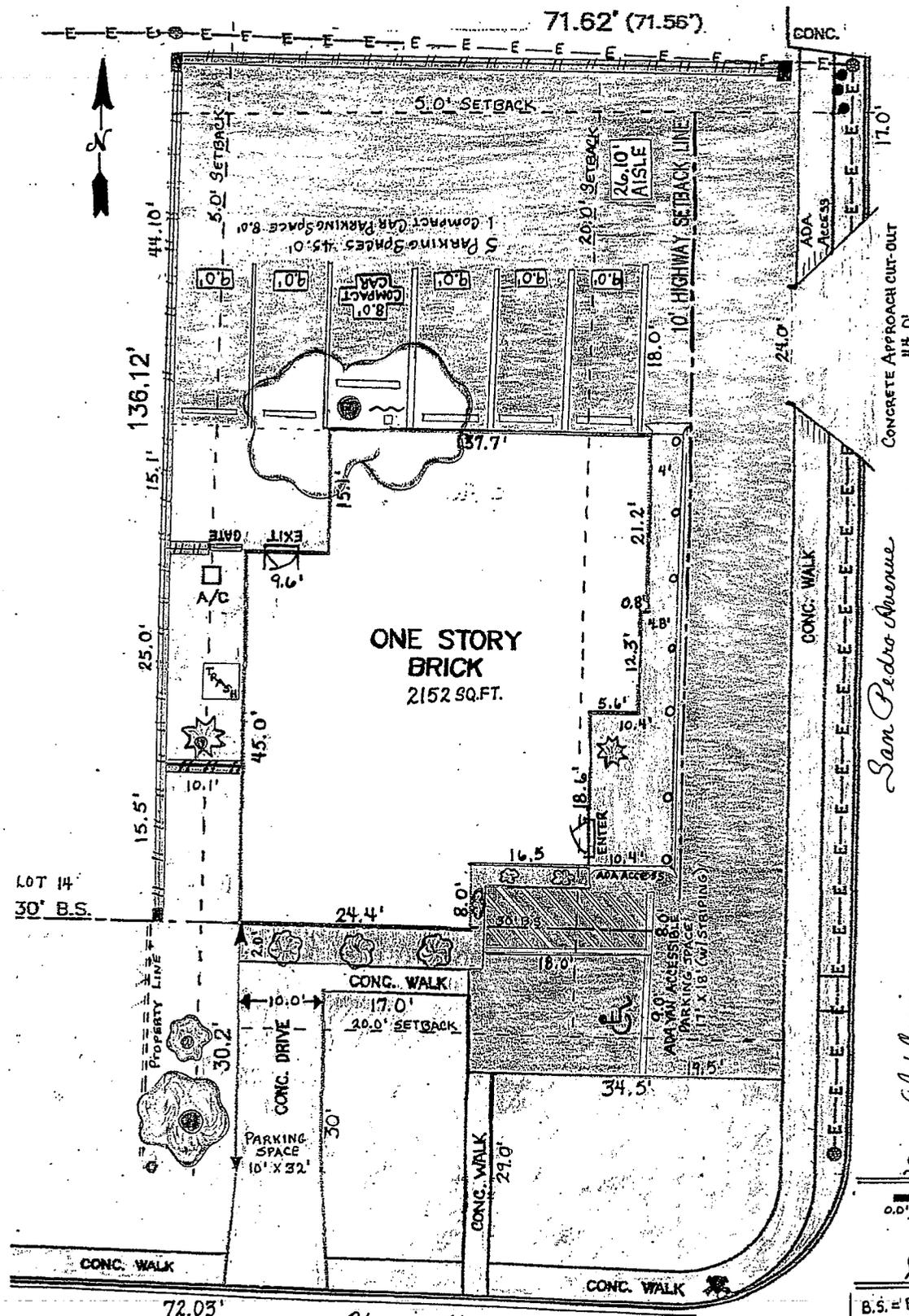
## Final Staff Recommendation - Zoning Commission

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The following conditions shall apply to the operation of nonresidential conditional uses permitted within any residential district:

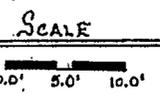
1. There shall be no exterior display or sign with the exception that a nameplate, not exceeding three (3) square feet in area, may be permitted when attached to the front of the main structure.
2. No construction features shall be permitted which would place the structure out of character with the surrounding neighborhood.
3. Business or office hours of operations shall not be permitted before 7:00 a.m. or after 6:00 p.m. The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions. The granting of a conditional zoning classification shall not be for all of the uses permitted in a given district but shall be only for the conditional use named in the ordinance approving the conditional zoning district.

**CASE MANAGER:** Pedro Vega 207-7980



"I, ART DAVIS, the applicant, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with applicable provisions of the Unified Development Code. I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted Codes at the time of plan submittal for building permits."  
 April 14, 2010  
*Art Davis*

*Art Davis*  
 Site Plan  
 West Mandalay @ San Pedro Avenue



LEGEND

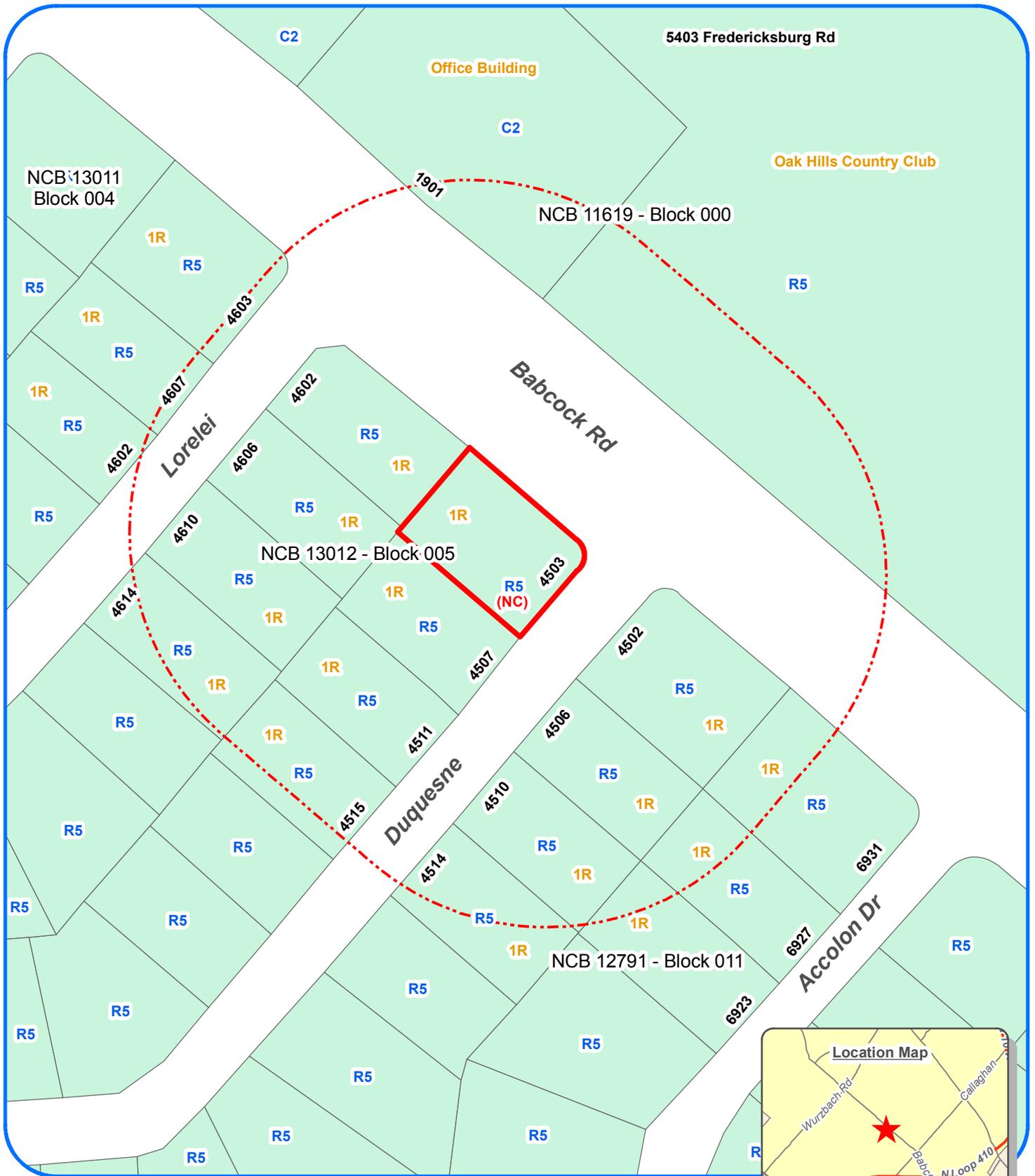
- B.S. = Building Setback
- - - = Highway Setback
- = 8' Column
- ▨ = 6' Wood Fence
- ☼ = Landscaping
- ♿ = Van Accessible
- = Parking
- ▤ = Concrete
- ▦ = Greenspace
- ▧ = Asphalt

ACRES IN PROPOSED DEVELOPMENT - .224 acre  
 Total Number of Lots - 1 Lot  
 LOT 14, BLOCK 7, N.C.B. 9120  
 Open Space Area - 2616.0 Sq Ft (per proposal)  
 Square Footage of Building - 2152.0 Sq Ft  
 INTENDED USE - Current Use: Residential R-4  
 Proposed Use: Residential / Professional Office R-4CD

PARKING PROVIDED - Total Number of Spaces: 8  
 5 Standard Spaces @ 9' x 18'  
 1 Compact Car Space @ 8' x 10'  
 1 Existing Driveway Space @ 10' x 30.2'  
 1 ADA Van Accessible Space @ 17' x 18'  
 Aisle - 26.10' x 75.5'

AREA OF EXISTING and PROPOSED IMPERVIOUS COVER - 6178.7 Sq Ft  
 Existing Concrete Driveway - 38.2' x 10' = 382.0 Sq Ft  
 Existing Concrete Walk - 17.0' x 3.0' = 51.0 Sq Ft  
 Existing Concrete Walk - 29.0' x 3.0' = 87.0 Sq Ft  
 Proposed Covered Concrete Walk - 10.4' x 18.6' = 193.4 Sq Ft & 12.3' x 4.8' = 59 Sq Ft & 21.2' x 4.0' = 84.8 Sq Ft  
 Proposed Asphalt Parking Lot - 5321.5 Sq Ft  
 Concrete Curb Approach - 44' x 24'

*West Mandalay*



# Zoning Case Notification Plan

## Case Z-2010-101

Council District 8

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 13012 - Block 005 - Lot 13

### Legend

- Subject Property (0.2204 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
 City of San Antonio  
 (05/19/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2010101

## Final Staff Recommendation - Zoning Commission

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**Date:** June 1, 2010

**Council District:** 8

**Ferguson Map:** 581 A2

**Applicant Name:**  
Evangelina Ramos

**Owner Name:**  
Evangelina & Benjamin Ramos

**Zoning Request:** From "R-5 AHOD" Residential Single-Family Airport Hazard Overlay District to "NC AHOD" Neighborhood Commercial Airport Hazard Overlay District.

**Property Location:** Lot 13, Block 5, NCB 13012

4503 Duquesne

On the west corner of Duquesne and Babcock Road

**Proposal:** To allow a beauty salon

**Neigh. Assoc.:** Dreamhill Estates Neighborhood Association is the nearest registered association.

**Neigh. Plan:** None

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required because the traffic generated by the proposed development does not exceed the threshold requirements.

**Staff Recommendation:**

Denial.

The subject property, located on the west corner of Duquesne and Babcock Road, is 0.2204 of an acre in size. The existing residential structure measures approximately 1,030 square feet and was constructed in 1961. The property was annexed in 1956 and was originally zoned "A" Single Family Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "R-5" Residential Single-Family District. Surrounding zoning includes "R-5" to the northwest, west, south, and east; with "C-2" Commercial District to the north and "MF-33" Multi-Family District to the southeast. Surrounding uses include single-family residences to the northwest, west, south, and east; with an office building and retail center to the north and apartments to the southeast.

Staff finds the requested zoning to be inappropriate for the subject property as it would constitute commercial encroachment into a neighborhood which is entirely residential in character. Commercial zoning is present in the area; however, it tends to be located at or near arterial intersections and on larger-acreage lots that front onto Babcock Road. Although the subject property is located at the intersection of Duquesne and Babcock Road (a local street and primary arterial thoroughfare, respectively), the property is currently accessible only from Duquesne. Additionally, approach to the subject property is limited from Babcock Road due to the presence of medians and the absence of a left turn lane.

While staff does not support approval of a commercial zoning district on the subject property, it is possible to request a conditional use in a residential zoning district that would allow the property to be used as a beauty salon. However, staff's recommendation for a conditional use request would be pending review of the requisite site plan.

**CASE MANAGER:** Micah Diaz 207-5876



## Zoning Case Notification Plan

### Case Z-2010-102

Council District 5

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 00192 - Block S - Lots 2 thru 6 and Lots 11 thru 20

#### Legend

- Subject Property (1.547 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
City of San Antonio  
(05/19/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2010102

## Final Staff Recommendation - Zoning Commission

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**Date:** June 1, 2010

**Council District:** 5

**Ferguson Map:** 616 C4

**Applicant Name:**  
Geof Edwards

**Owner Name:**  
Bexar County, a political subdivision of the State of Texas

**Zoning Request:** From "I-2 AHOD" Heavy Industrial Airport Hazard Overlay District to "O-2 IDZ AHOD" Office Infill Development Zone Airport Hazard Overlay District.

**Property Location:** Lots 1 through 20, Block 82, NCB 192

127 North Comal Street

Bound by North Comal Street, West Commerce Street, North San Marcos and West Houston Street

**Proposal:** To allow a parking garage

**Neigh. Assoc.:** Prospect Hill Neighborhood Association

**Neigh. Plan:** Downtown Neighborhood Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**  
Approval.

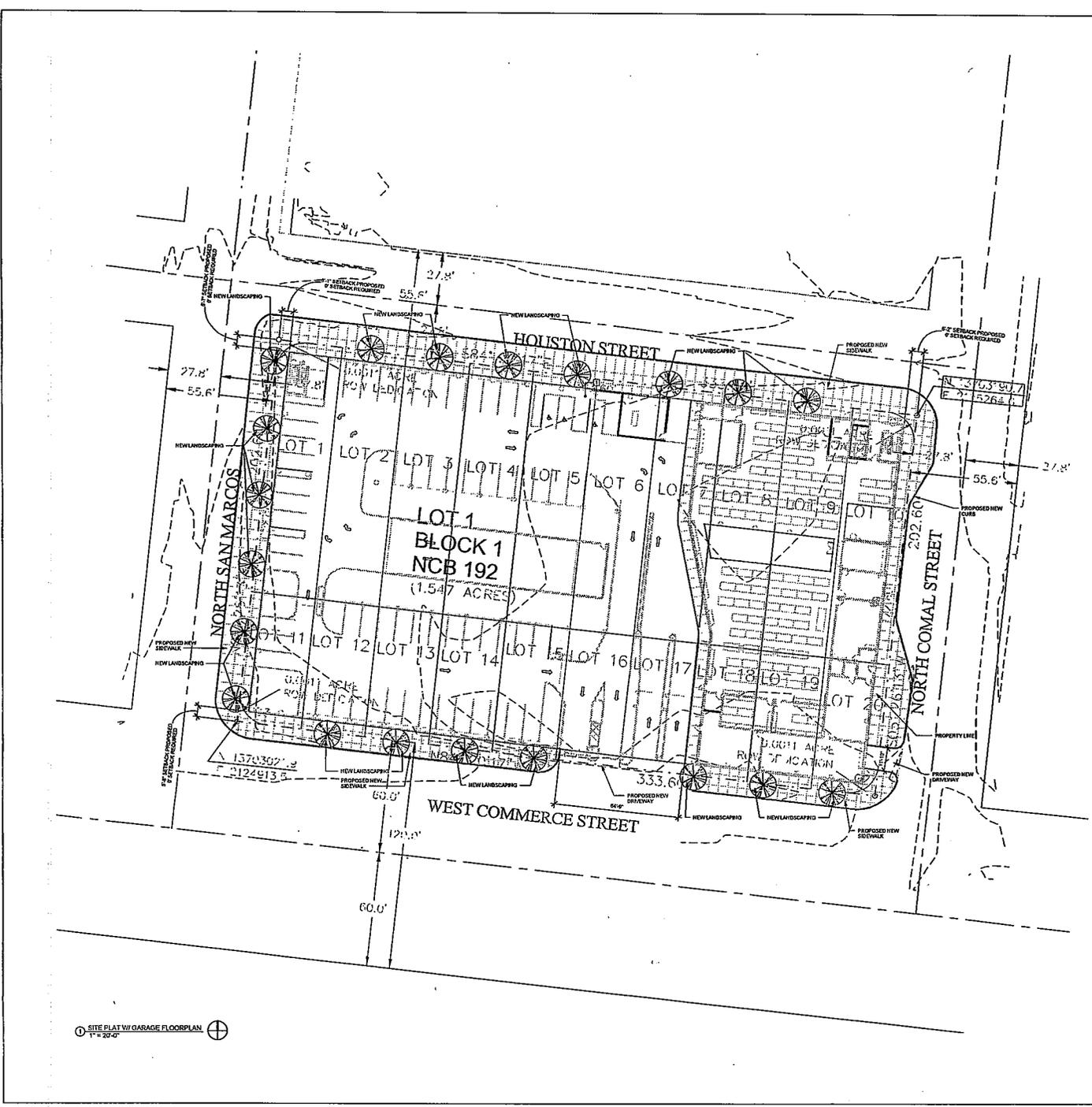
The subject property consists of approximately 1.547 acres bound by North Comal Street, West Commerce Street, North San Marcos and West Houston Street. The property is currently undeveloped, and is located within the City Limits as they were recognized in 1938. The property was originally zoned "L" First Manufacturing District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "I-2" Heavy Industrial District. Properties across West Houston Street to the north and North Comal Street to the east is zoned "I-2 AHOD" Heavy Industrial Airport Hazard Overlay District. Property across West Commerce Street to the south and across North San Marcos to the west is zoned "IDZ" Infill Development Zone Airport Hazard Overlay District. The requested zoning would allow a formerly industrial and recently underutilized property to be redeveloped for the purpose to allow a structured parking garage to serve the adjacent Bexar County facilities. The parking garage is anticipated to have 6 levels and 963 parking spaces that may ease the current parking and traffic congestion in the area.

This requested rezoning is a reduction in intensity from "I-2 AHOD" to "O-2 IDZ AHOD". The purpose for an Infill Development Zone (IDZ) is to encourage and facilitate development on vacant property or the redevelopment of underutilized buildings or structures within existing developed areas. The subject property is located within an area where adaptive re-use of property is encouraged. Given the existing use pattern in the area and the location of the subject property, the proposed "O-2 IDZ AHOD" is appropriate and consistent with the Downtown Neighborhood Plan.

The Infill Development Zone district provides flexible standards for the development and reuse of underutilized parcels. This zoning district is intended to facilitate development on vacant, bypassed lands, or the redevelopment of underutilized buildings or structures, within existing built up areas by waiving some standards, including those related to parking, landscaping, buffering, open space and building location.

The "O-2" Office District provides for the establishment of low to high-rise office buildings. It provides a wider variety of office and accessory retail uses that are primarily designed to serve on-site tenants, but may provide services or products to the general public as a secondary market in support of the building's primary office tenants in order to promote mixed uses and the internal capture of vehicular trips, while facilitating economic development.

**CASE MANAGER:** Pedro Vega 207-7980



**INTENDED USE OF PROPERTY**

THE INTENDED USE OF THE PROPERTY IS A PUBLIC ACCESS CONTROLLED STRUCTURED PARKING GARAGE AND PARTIAL FIRST FLOOR STORAGE AREA FOR THE BEXAR COUNTY SHERIFF'S OFFICE.

**\*1. BETTY BUECHE, ON BEHALF OF BEXAR COUNTY, THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSES OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONNECTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.\***

AREA TABULATIONS

NUMBER OF ACRES IN PROPOSED DEVELOPMENT	1.547 AC (67,347 SF)
NUMBER OF LOTS	20 (NEPLATTING TO 1 LOT)
AREA OF OPEN SPACE ON SITE	1905 SF (2359 AC)
DIMENSIONS OF EXISTING STRUCTURES	NONE
TOTAL AREA OF IMPERVIOUS COVER	1142 SF (AREA OF GARAGE)
SF OF HARD SURFACES	1905 SF

PARKING SCHEDULE

Type	Comments	Count
Level 1	ADA Parking Space	3
Level 1	Standard Parking Space	15
Level 2	ADA Parking Space	4
Level 2	Standard Parking Space	161
Level 3	ADA Parking Space	4
Level 3	Standard Parking Space	161
Level 4	ADA Parking Space	3
Level 4	Standard Parking Space	182
Level 5	ADA Parking Space	3
Level 5	Standard Parking Space	182
Level 6	ADA Parking Space	3
Level 6	Standard Parking Space	142

953  
ADA spaces needed = 20  
ADA spaces provided = 20

① SITE PLAN W/ GARAGE FLOORPLAN  
1" = 30' 0"



County of Bexar  
**New Comal St. Parking Garage**  
San Antonio, TX

Sheet Title  
**SITE PLAN**

Date  
**APRIL 30, 2010**

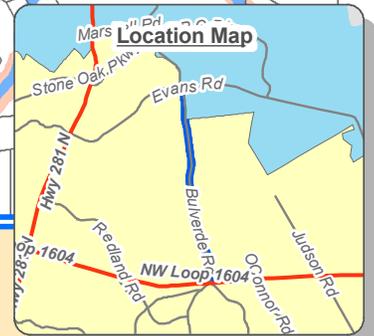
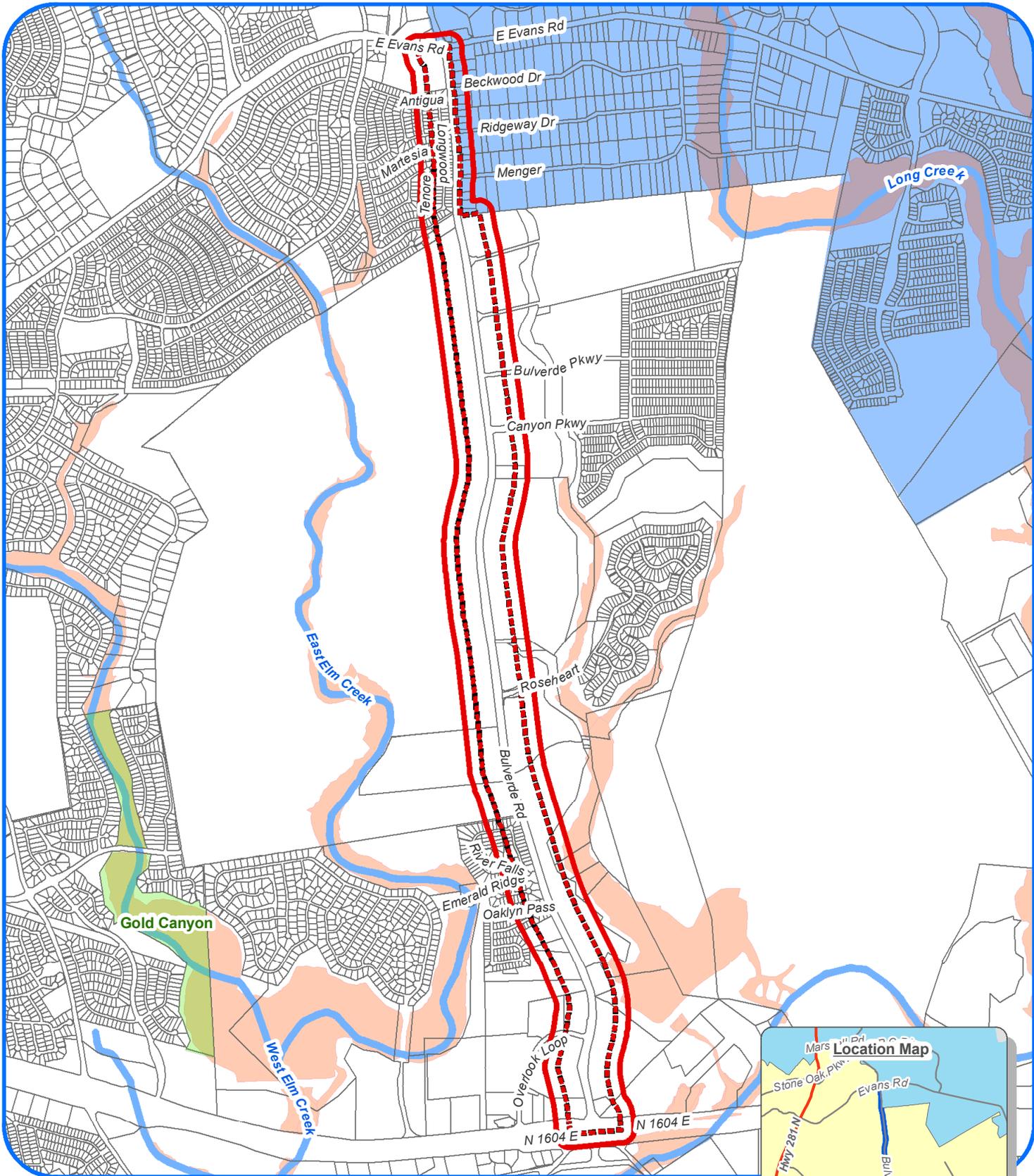
Project Number  
**R2801.00**

Sheet Number

Drawn By  
**Author**

Checked By  
**Checker**

**S-1**



**Zoning Case Notification Plan**

**Case Z-2010-085 ERZD**

Council Districts 9 and 10  
 Scale: 1" approx. = 2,100 Feet

Subject Property Legal Description(s): Multiple lots located within the municipal boundary of the City of San Antonio and located within 300' of the outer R-o-W boundary line of Bulverde Rd. This portion of Bulverde Rd is generally bound E by Evans Rd to the North and North Loop 1604 East to the South.

**Legend**

- Subject Property -----
  - 200' Notification Buffer —————
  - Current Zoning —————
  - Requested Zoning Change —————
  - 100-Year DFIRM Floodplain —————
  - Outside City Limits —————
- Various**  
**"PC-1" applied to current Zoning**

Planning & Development Services Dept  
 City of San Antonio  
 (04/07/2010 - E Hart)

# CASE NO: Z2010085 ERZD

## Final Staff Recommendation - Zoning Commission

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**Date:** June 1, 2010  
Continuance (Applicant's Request) from May 18, 2010

**Council District:** 9, 10

**Ferguson Map:** 484, 518

**Applicant Name:** City of San Antonio  
**Owner Name:** Multiple Property Owners

**Zoning Request:** From multiple zoning districts to multiple zoning districts with the adoption and application of the Bulverde Road Preservation Corridor District (PC-1)

**Property Location:** Multiple lots located within the municipal boundary of the City of San Antonio and located within 300 feet of the outer right-of-way boundary line of Bulverde Road between Evans Road to the north and North Loop 1604 East to the south

**Proposal:** To adopt and apply the Bulverde Road Preservation Corridor District (PC-1)

**Neigh. Assoc.** Emerald Forest Homeowner's Association, Northwood Hills Improvement Club, Roseheart Homeowner's Association

**Neigh. Plan** None

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**

Approval.

Update

On May 18, 2010, the Zoning Commission continued this case to June 1, 2010 to allow staff to provide additional opportunities for public review and discussion of the proposed zoning changes. Based on the information presented during the 1<sup>st</sup> Zoning Commission hearing and subsequent conversations with property owners, the Bulverde Preservation Corridor District Design Standards Manual has been modified to include the following changes:

- Off-Street Parking & Loading: parking location and loading door screening requirements applied only to areas visible from the Bulverde Road right-of-way
- Parking Lot Screening: minimum screening height reduced from 4 feet to 3 feet
- Lighting: lighting standards for outdoor artwork, vegetation, and landscape elements eliminated
- Tree Preservation/ Front Natural Bufferyard: non-native and/ or invasive understory plant removal permitted
- Building Materials: minimal amount of black-colored building trim permitted

Additional updates include the addition of clarifying language and grammar and formatting corrections. A fully updated version of the design standards is attached.

Overview

This zoning case includes designation of the proposed Bulverde Road Preservation Corridor District (PC-1) and was initiated by Resolution 2009-09-03-0029R approved by City Council on September 3, 2009. The proposed PC-1 is an overlay district that includes site and building design standards that would apply to new commercial construction. These standards were developed through a community based process

# CASE NO: Z2010085 ERZD

## Final Staff Recommendation - Zoning Commission

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and are intended to help preserve the scenic and natural qualities of the Bulverde Road corridor and protect the area from visual blight as it develops in the future. Examples of PC-1 requirements include a tree and understory preservation requirement within the first 35-feet of property abutting Bulverde Road, a masonry requirement for street wall facades (to include at least 15% sandstone or limestone), cut-off requirements for lighting fixtures to reduce light pollution, and reductions to the allowable height and message area for freestanding and attached signs. (For a complete list of standards, please see the attached draft Bulverde Road Preservation Corridor District Design Standards.)

The proposed PC-1 extends 300 feet from both sides of the Bulverde Road outer right-of-way boundary lines (except for a small portion that is located outside of the municipal boundary of the City of San Antonio) and is bound by Evans Road to the north and North Loop 1604 East to the south. Preservation Corridor Districts are enabled under Section 35-339.01 Corridor Districts of the Unified Development Code (UDC). The proposed Bulverde Road Preservation Corridor District would be the first Preservation Corridor District in the City and would include the designation "PC-1" pursuant to Section 35-339.01 of the UDC.

The properties adjacent to the roadway are primarily undeveloped with the exception of emerging commercial nodes at the intersections of Bulverde Road and North Loop 1604 East and Bulverde and Evans Roads. However, the planned expansion of Bulverde Road promises to bring increased development potential to the Corridor. The \$33 million road project, with funds coming from the 2007 General Obligation Street Improvement Bond, City Public Service, and the San Antonio Water System, includes reconstructing and widening Bulverde Road with curbs, sidewalks, bicycle facilities, driveway approaches, and necessary drainage and traffic signal improvements. The Corridor District was proposed to ensure future development is compatible with the existing residential neighborhoods, preserve the natural character of the area, and protect the corridor from visual blight.

### Designation Criteria

The Corridor District enabling ordinance was adopted by City Council on December 19, 2002. This ordinance amended the Unified Development Code (UDC) by establishing overlay zoning districts for Gateway, Metropolitan, and Preservation Corridors and setting forth a process for designation. The purpose of these overlay districts is to preserve, enhance and perpetuate the value of roadway corridors through the adoption of area-specific site and building design standards. The more specific purpose of a Preservation Corridor is to protect a roadway with unique historical significance, natural vistas and/ or unique scenic environments from visual blight. The Bulverde Road corridor qualifies for designation as a Preservation Corridor because it traverses scenic terrain where natural areas (areas without man made alterations that contain native topography and/ or native plants) are present.

### Public Process

The unique site and building design standards proposed for inclusion as part of this overlay district were developed through a public participation process where all property owners within the district and adjacent areas were afforded an opportunity to participate in drafting the proposed regulations. The public process included 3 public meetings, 9 planning team workshops, and an extended comment period. The initial public meeting was held on November 10, 2009 and provided property owners, representatives from neighborhood associations and public entities, and other stakeholders an opportunity to learn more about the proposed overlay district, participate in a visioning exercise, and volunteer to be a member of the Planning Team. Interest in serving on the Planning Team was robust - the Planning Team consisted of 25 dedicated individuals (8 neighborhood/ homeowners association representatives; 5 commercial property owners/ representatives; 5 residential property owners/ representatives; 2 public entity representatives; and 5 alternates). The Planning Team members worked closely with staff from the Planning & Development Services Department during a series of 9 workshops to formulate site and building design standards that would allow for responsible development while

# CASE NO: Z2010085 ERZD

## Final Staff Recommendation - Zoning Commission

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preserving the natural and scenic characteristics of the Bulverde Road corridor. Total attendance at the 12 meetings was over 190 with more than 290 volunteer hours devoted to the creation of these design standards.

### PC-1 Design Standards

The proposed Bulverde Road Preservation Corridor District includes building and site design standards that would provide a climate where individual actions complement each other and are sensitive to the scenic and natural qualities found within the Corridor. These design standards were developed within the framework established by Section 35-399.01 of the UDC.

The following elements are addressed in the design standards. For specific standards, please refer to the attached draft Bulverde Road Preservation Corridor District Design Standards.

- Increased front and side building setbacks
- Internal pedestrian circulation system location and configuration
- Right-of-way sidewalk configuration
- Off-street parking and loading location
- Fence/ wall materials
- Parking lot screening
- Mechanical equipment, dumpster, and storage area screening
- Screening for lighting fixtures (to reduce light pollution)
- Screening for satellite dishes and solar systems
- Below ground on-site utility placement
- Enhanced landscaping utilizing native plants
- 35-foot wide tree and understory preservation area along Bulverde Road
- Building material requirements (85% masonry and glass, 15% limestone or sandstone for street wall facades, earth tone colors only)
- Billboard prohibition
- Reductions to height and sign message area; sign placement and sign design requirements for freestanding signs
- Reductions to attached sign message area for attached signs

### Administration

The proposed Bulverde Road Corridor District (PC-1) would not regulate uses, nor would it require a property owner to rehabilitate an existing structure or sign to conform to the new standards. Permitted uses are determined by the underlying base zoning. Existing businesses may remain in the area and conduct ordinary repair and maintenance of their properties and signs indefinitely without triggering the new standards. Properties with vested rights may be exempt from certain provisions of the PC-1 standards pursuant to Chapter 245 of the V.T.C.A. Local Government Code. Currently state law does not allow a municipality to enforce zoning regulations that affect landscaping or tree preservation, open space or park dedication, property classification, lot size, lot dimensions, lot coverage, or building size when a property has vested rights. The recognition of vested rights is governed by Article VII, Division 2 of the UDC.

When an application for a development permit for property within a Corridor District is received, staff with the Neighborhood Planning and Urban Design section of the Planning and Development Services Department reviews the submitted plans within 10 days to determine compliance with the adopted standards. After staff has reviewed the applicant's plans, a Certificate of Compliance is either issued or denied via the City's online permitting system. If denied, the applicant may resubmit with the appropriate changes or appeal to the Board of Adjustment. Preliminary plan review services are available to applicants who wish to test compliance with the standards before construction plans are finalized.

# CASE NO: Z2010085 ERZD

## Final Staff Recommendation - Zoning Commission

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### Conclusion

The proposed Bulverde Road Preservation Corridor District (PC-1) would help ensure that the scenic and natural characteristics of the Bulverde Corridor are maintained and protect the area from visual blight as it is developed in the future. The PC-1 includes site and building design standards that were developed through a public participation process and address site and building design elements including: tree and understory preservation along the Bulverde Road frontage, building setbacks, building materials, lighting, screening, sign height and sign message area (for a complete list of standards, please see the attached draft Bulverde Road Preservation Corridor District Design Standards). The adoption of this overlay district would ensure that the individual actions of property owners contribute to the overall appearance and function of the Corridor and provide for a fair and objective review process for new development projects.

### **SAWS Summary:**

SAWS recommends approval of the proposed Bulverde Road Preservation Corridor District.

**CASE MANAGER :** Michael Taylor 207-0145

DEVELOPMENT SERVICES  
RECEIVED  
SAN ANTONIO WATER SYSTEM  
Interdepartment Correspondence Sheet

2010 MAR 31 PM 2:54

To: Zoning Commission Members

From: Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

Copies To: Scott R. Halty, Director, Resource Protection & Compliance Department, Gregory James, P.G., Michael A. Escalante, Environmental Protection Specialist III, Aquifer Protection & Evaluation Section, File

Subject: Zoning Case Z2010085 (Bulverde Road Preservation Corridor)

Date: March 31, 2010

#### SUMMARY

A request for a change in zoning has been made for an approximate 214-acre tract located on the city's north east side. A change in zoning from "Multiple Zoning Districts ERZD" to "Multiple Zoning Districts to Adopt Bulverde Rd. Preservation Corridor ERZD PC-1" is being requested by the City of San Antonio, Michael Taylor. The change in zoning has been requested to allow for Bulverde Rd. Preservation Corridor Overlay District.

Based on the site evaluation of the property, and the information submitted by the applicant, SAWS staff recommends approval of the proposed land use. Should the city council rezone the property that is the subject of this report, the San Antonio Water System recommends that any development on that property after the zoning classification has been changed should be restricted as stated in the environmental recommendations section of this report.

#### LOCATION

The subject property is located in City Council Districts 9 & 10, on Bulverde Rd. between the intersections of Loop 1604 and Evans Rd. The property lies within the Edwards Aquifer Recharge Zone (Figures 1 and 2).

#### SITE EVALUATION

##### 1. Development Description:

The proposed change is from "Multiple Zoning Districts ERZD" to "Multiple Zoning Districts to Adopt Bulverde Rd. Preservation Corridor ERZD PC-1" and will allow for a Bulverde Rd. Preservation Corridor Overlay District. Currently Bulverde Rd. is an existing 2 lane roadway 110' to 120' in width and stretching 16, 874 linear feet.

2. Surrounding Land Uses:

Evans Rd. borders the northern intersection of Bulverde Rd. and Loop 1604 borders the southern intersection of Bulverde Rd. Various developed (commercial/residential) and undeveloped properties are adjacent to the eastern and western boundaries along Bulverde Rd.

3. Water Pollution Abatement Plan:

As of the date of this report, a WPAP has not been submitted to the Texas Commission on Environmental Quality (TCEQ). A WPAP will be required to be submitted to and approved by the TCEQ prior to the commencement of construction.

4. Geologic Conditions:

The Resource Protection Division of the San Antonio Water System conducted a site evaluation on March 24, 2010, of the referenced property to assess the geologic conditions and evaluate any environmental concerns present at the site. SAWS Environmental Geologist, Mr. Bruce Keels, P.G., was present during the site evaluation.

- A. The subject site was observed as "Right of Way" (ROW) on both sides of Bulverde Road, extending to an average distance of 110 to 120 feet, from Loop 1604 to Evans Road. The subject property was observed to be developed as a two lane public thoroughfare, with occasional middle turn lanes and abutting driveways throughout. Public utility infrastructure excavations were observed to be in progress on both sides of Bulverde Road, within the observed ROW, throughout the extent of the subject site.

Little exposure of bedrock was observed within the subject site. The subject property was observed with asphalt roadway paving along the extent of Bulverde Road, and a moderate soil cover of several inches depth throughout its entire extent within the ROW. Observation of current stratigraphy within adjacent utility infrastructure excavation trenches indicate the average soil cover to be approximately 12 inches in depth. Additionally, previously installed and currently ongoing utility infrastructure excavations have extensively disturbed native soils within the site ROW.

The site appeared to have varying slopes throughout its extent. Stormwater occurring on the subject site would drain either to the west into an unnamed tributary to Mud Creek, or to the east into an unnamed tributary to Elm Waterhole Creek.

- B. Using U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by the Cyclic and Marine, Leached and Collapsed and Regional Dense Members of the Person Formation; and the Dolomitic and Grainstone Members of the Kainer Formation of the Edwards Aquifer.

The Leached and Collapsed Member of the Person Formation is characterized by the presence of crystalline limestone, grainstone, and mudstone, with chert nodules and breccia conglomerations. This Member is known to have fabric related porosity. The full section thickness of this member is approximately 70 to 90 feet thick.

The Dolomitic Member of the Kainer Formation is characterized by the presence of massively bedded mudstone, grainstone, and recrystallized limestone with abundant chert nodules. The full section thickness of this member is approximately 110 to 130 feet thick.

The Grainstone Member of the Kainer Formation is characterized by the presence of crossbedded lime mudstone, wackestone, and chert nodules. Recrystallization reduces porosity within this member. The full section thickness of this member is 50 to 60 feet.

The Cyclic and Marine Member of the Person Formation is characterized by the presence of thinly bedded mudstone, packstone and grainstone with structurally based porosity. The full section thickness of this member is approximately 80 to 90 feet thick.

The Regional Dense Member of the Person Formation is characterized by the presence of dense massive limestone and mudstone with sparse vertical jointing resulting in low porosity. The full section thickness of this member is approximately 20 to 24 feet thick.

- C. The subject site was noted to cross four (4) mapped faults associated with the Balcones Fault Zone. No surface expressions of any of these faults were visually observed along the site.

A mapped cave, known as Black Cat Cave (Veni, 1988), was observed on the eastern side of the subject site within the ROW, south of Menger Road (see Figure 3). This cave entrance is approximately 7 feet in diameter, and is known to extend under Bulverde Road, in excess of 100 feet, and to a depth of approximately 30 feet. This cave was observed to serve as the drainage point for an adjacent field, in excess of 1.6 acres. Based on these observations, this cave is considered both sensitive and significant.

Black Cat Cave has been mapped and known to exist for several years. The potential for contamination of this feature from a spill or accident has been a concern for some time. While it is the intent of the Aquifer Quality Ordinance to preserve significant recharge features, this cave is located where the concern of pollution impact to the Edwards Aquifer

## ENVIRONMENTAL CONCERNS

The environmental concerns associated with this development being constructed on the Edwards Aquifer Recharge Zone are:

### Site Specific Concerns

1. The close proximity of Black Cat Cave to Bulverde Road and the potential for contamination directly affecting water quality.
2. Future developments within the Bulverde Road Preservation Overlay District have the proper protective measures in place to protect the Edwards Aquifer Recharge Zone.

### General Concerns

1. The improper use of pesticides, herbicides, or fertilizers needed for landscape maintenance that may be carried off in the first flush of stormwater run-off.
2. The build-up of hydrocarbons and other pollutants on streets, parking lots and other paved areas that are then carried off in the first flush of stormwater run-off.

## ENVIRONMENTAL RECOMMENDATIONS

The following recommendations address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:

### Site Specific Recommendations

1. The SAWS Aquifer Protection & Evaluation Section shall require a final disposition plan to be submitted for review and approval prior to the sealing of the cave.
2. The land uses within the zoned area shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use within the Bulverde Road Preservation Corridor Overlay District be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at that site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as prohibited, that land use will not be permitted on that site.

3. Wells that are no longer in use or abandoned shall be properly plugged in accordance with SAWS water well plugging procedures. The Ground Water Resource Protection Section should be notified at 233-3546 upon discovery and plugging of such wells.
4. The owner of all water pollution abatement structures shall ensure these structures are properly maintained and kept free of trash and debris. A signed water quality maintenance plan must be submitted to the Resource Protection Division of SAWS. If at any time the ownership of the property changes, the seller must disclose to the buyer all the requirements of the water quality maintenance plan. The new owner must submit a signed water quality maintenance plan to the Resource Protection Division of SAWS.
5. Landscaped areas shall be sensitive to minimizing water needs, i.e., use of native plants. Each purchaser of an individual lot or tenant within this development shall be informed by the seller or lessor in writing about Best Management Practices (BMP) for pesticide and fertilizer application. Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210/222-2204), or equivalent information produced by the U.S. Natural Resource Conservation Service, Texas Department of Agriculture, U.S. Department of Agriculture, shall be used.
6. The applicant shall notify the Construction Compliance Section of the Resource Compliance Division of SAWS at (210) 233-3564 no later than 48 hours prior to the commencement of construction at the site. If any significant geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality and the Resource Protection Division of the San Antonio Water System at (210) 233-3526.

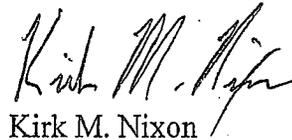
#### General Recommendations

1. Prior to the release of any building permits the owner/operator of any Category 2 property shall submit an Aquifer Protection Plan to the Resource Protection Division of the San Antonio Water System.
2. The land uses within the project site shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at the project site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as not allowed, that land use will not be permitted on the project site.

3. Prior to the release of any building permits, the following shall be submitted to the SAWS Aquifer Protection & Evaluation Section of the Resource Protection Division:
  - A. A copy of the Water Pollution Abatement Plan (WPAP) shall be submitted for each particular development/use within the area being considered for re-zoning,
  - B. A set of site specific plans which must have a signed Engineers Seal from the State of Texas,
  - C. A WPAP approval letter from the Texas Commission on Environmental Quality (TCEQ),
  - D. A copy of the approved Water Pollution Abatement Plan.
4. The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal law.
5. If a water quality basin is constructed on the property, the following is required:
  - A. Below grade or subsurface basins shall not be allowed to be constructed within the corridor unless approved by the Aquifer Protection & Evaluation Section.
  - B. Prior to the start of the basin construction, the owner will notify the Aquifer Protection and Evaluation Section of the San Antonio Water System at (210) 233-3526 to schedule a site inspection.
  - C. After basin construction is complete and prior to the start of business, the owner will notify the SAWS Aquifer Protection and Evaluation Section at (210) 233-3526 to schedule a site inspection. Additionally, we recommend a maintenance plan and schedule be developed and submitted to SAWS Aquifer Protection and Evaluation Section.
  - D. If the basin fails to drain properly, the owner will notify the Construction Section of the Resource Compliance Division at (210) 233-3564 prior to any discharge of water.
  - E. If at any time the ownership of the property changes, the seller must inform the buyer of all requirements for maintenance of the Basin. A signed basin maintenance plan and schedule agreement, from the new owner, must be submitted to the Resource Protection Division of SAWS.

6. The City of San Antonio shall inspect all future construction of the sewage collection system to include service laterals and sewer mains for proper construction according to State and City Regulations and Code.
7. The Resource Protection Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

Based on the site evaluation of the property, and the information submitted by the applicant, staff recommends approval of the proposed land use. Additionally, SAWS staff recommends that the applicant, or any future owner, comply with the above recommendations in regards to the development of the subject property.



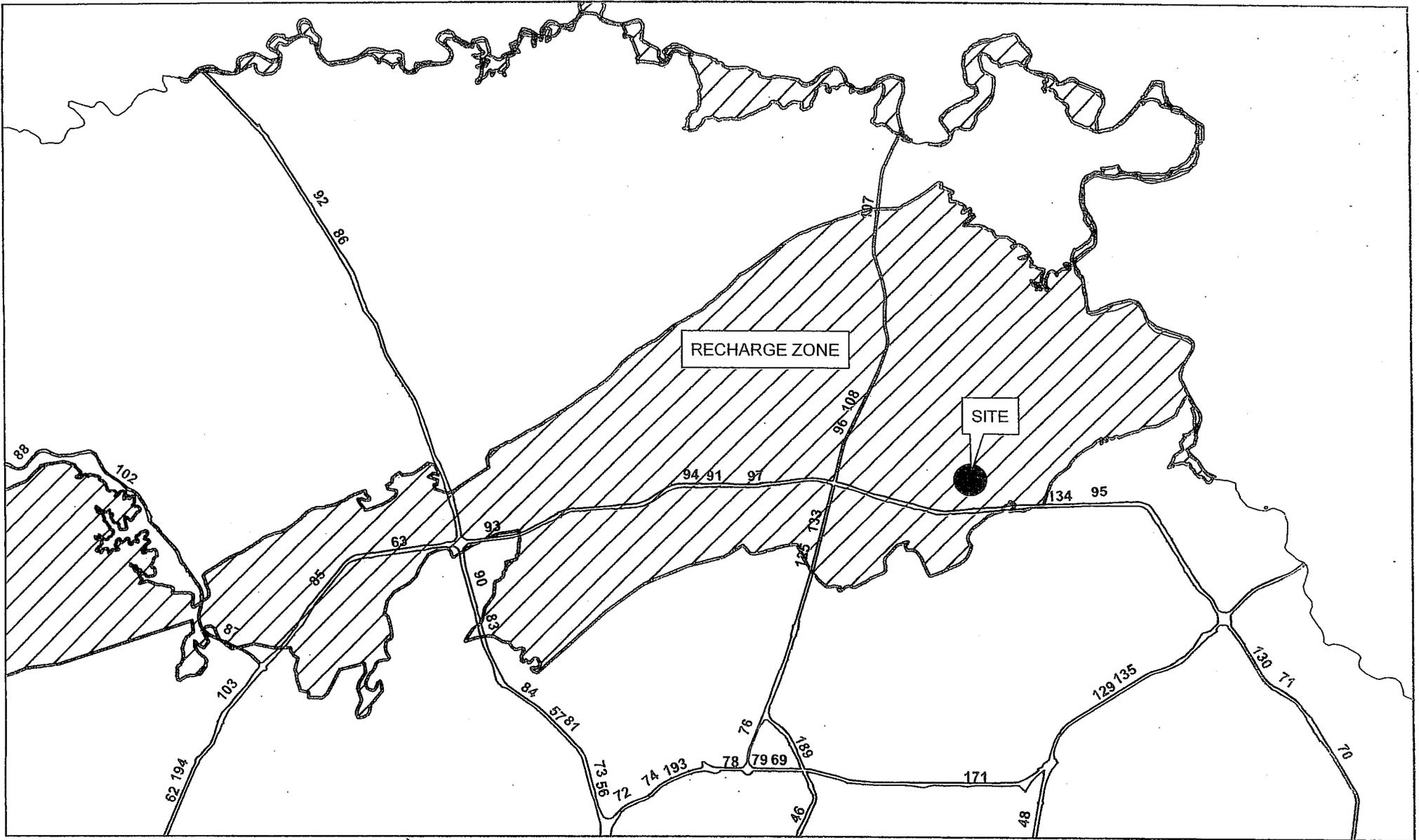
Kirk M. Nixon  
Manager  
Resource Protection Division

APPROVED:



Scott R. Halty  
Director,  
Resource Protection & Compliance Department

KMN:MAE



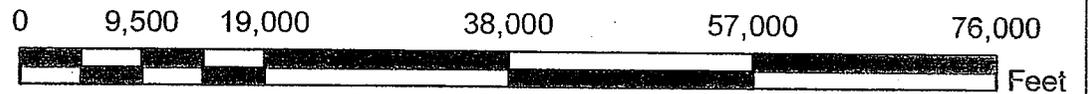
ZONING FILE: BULVERDE ROAD PRESERVATION CORRIDOR (FIGURE 1)

ZONING ID: Z2010085

MAP PAGE: 518, B3 X=2153123 Y=13767521

Map Prepared by Aquifer Protection & Evaluation MAE 3/23/2010

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# Bulverde Road Preservation Corridor

## Design Standards Manual

# Bulverde Road Preservation Corridor District

## Executive Summary

### Background

The Bulverde Road Preservation Corridor District includes a 3.26 mile stretch of Bulverde Road from Loop 1604 North to Evans Road and extends 300 feet from the outer right-of-way boundary lines. The properties adjacent to the roadway are primarily undeveloped with the exception of emerging commercial nodes at the intersection of Bulverde Road and Loop 1604 and Bulverde and Evans Roads. However, the planned expansion of Bulverde Road promises to bring increased development potential to the Corridor. The \$33 million road project, with funds coming from the 2007 General Obligation Street Improvement Bond, City Public Service, and the San Antonio Water System, includes reconstructing and widening Bulverde Road with curbs, sidewalks, bicycle facilities, driveway approaches, and necessary drainage and traffic signal improvements. The Corridor District was established to ensure future development is compatible with the existing residential neighborhoods, preserve the natural character of the area, and protect the corridor from visual blight.

The Corridor District enabling ordinance was adopted by City Council on December 19, 2002. This ordinance amended the Unified Development Code (UDC) by establishing overlay zoning districts for gateway, metropolitan, and preservation corridors and setting forth a process for designation. The purpose of these overlay districts is to preserve, enhance and perpetuate the value of roadway corridors through the adoption of area-specific site and building design standards. The more specific purpose of a preservation corridor is to protect a roadway with unique historical significance, natural vistas and/ or unique scenic environments from visual blight. The Bulverde Road Corridor qualifies for designation as a preservation corridor because it traverses scenic terrain where natural areas (areas without man made alterations that contain native topography and/ or native plants) are present.

The unique site and building design standards adopted with this overlay district were developed through a public participation process where all property owners within the district and adjacent areas were afforded an opportunity to participate in drafting the proposed regulations through public hearings and meetings. The process included an initial public meeting during which volunteers were recruited for the Planning Team. The Planning Team included 25 dedicated individuals (8 neighborhood/ homeowners association representatives; 5 commercial property owners/ representatives; 5 residential property owners/ representatives; 2 public entity representatives; and 5 alternates) who worked closely with staff from the Planning & Development Services Department to formulate site and building design standards that will allow for responsible development while preserving the natural and scenic characteristics of the Bulverde Road corridor.

### How to Use this Document

This document includes design standards that apply to new construction projects and to improvements or renovations to existing structures, where the work requires a building permit and is specifically governed by the included standards, within the established boundaries of the Bulverde Road Preservation Corridor District. ***For specific questions regarding the Bulverde Road Preservation Corridor District design standards or applicability to a particular property or project, please contact the City of San Antonio Planning and Development Services Department.***

# Bulverde Road Preservation Corridor District

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# Bulverde Road Preservation Corridor District

## 1. General Purpose Statements

### (a) Applicability

- (1) Provisions of these regulations are activated by “shall” when required; and “may” when optional.
- (2) Single family residential structures in platted subdivisions shall not be subject to the design standards of this overlay district.
- (3) In the event of a conflict between this section and other provisions of the Municipal Code, the most restrictive provisions shall apply.

## 2. Definitions

Earth tone colors – colors that are predominant in the surrounding landscape including desert and woodlands and shall be low reflectance, subtle, or neutral colors. Earth tone colors shall not include primary colors, black, metallic, or fluorescent colors. Earth tone is a color scheme that draws from a color palette of browns, brownish-reds, brownish-oranges, tans, grays, and greens. The colors in an earth tone scheme are muted and flat and emulate the colors found in native soil, trees, and rocks.

Native plants and trees – those species listed in Appendix E of the Unified Development Code

Pedestrian circulation system – improved trails, sidewalks, and/or crosswalks that facilitate pedestrian movement within a site.

Publicly accessible – a building or area accessible to the public, including residents, customers, and employees. Maintenance, service, and outdoor storage yards/ areas are not considered publicly accessible if they are completely enclosed by solid walls so as to not be visible from beyond the maintenance, service, or outdoor storage yard/ area.

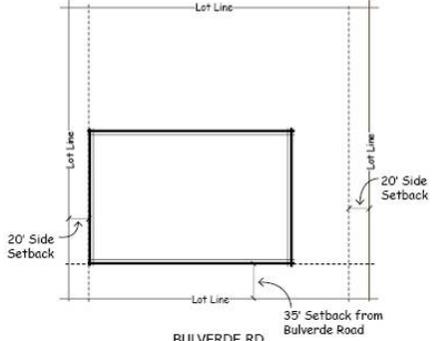
Screen – vegetation, fence, wall, berm or a combination of any or all of these which partially or completely blocks the view of and provides spatial separation of a portion or all of a site from an adjacent property or right-of-way.

Street wall façade – That portion or portions of a wall or any permanent structure that is visible from and oriented parallel to a dedicated public right-of-way. For a structure that is not oriented parallel to the right-of-way, the street wall façade shall include all of the facades visible from the right-of-way and oriented at an angle greater than zero degrees but less than sixty (60) degrees to the right-of-way.

Understory – assemblages of natural low level woody, herbaceous, and ground cover species.

# Bulverde Road Preservation Corridor District

## 3. Design Standards

	<b>Design Standards</b> Design Standards are objective, measurable regulations with which all projects must comply.	<b>Illustrative Pictures/ Diagrams</b> Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.
<b>(a)</b>	<b>SITE</b>	
<b>(1)</b>	<b>Building Setbacks</b>	
	<ul style="list-style-type: none"> <li>• A minimum thirty-five (35) foot building setback shall be maintained from lot lines abutting the Bulverde Road right-of-way.</li> <li>• A minimum twenty (20) foot building setback shall be maintained from all other front and side lot lines, except that a minimum side building setback is not required on a lot that utilizes a shared access easement to provide vehicular access from the public right-of-way unless a minimum side building setback is required by the base zoning district.</li> <li>• Rear building setback is established by the base zoning district.</li> </ul>	
<b>(2)</b>	<b>Sidewalks</b>	
	<p><u>Internal Sidewalks</u>                      A minimum four (4)-foot wide continuous pedestrian circulation system shall connect a publicly accessible building within a site to the right-of-way sidewalk(s) abutting the site, all other publicly accessible buildings within the site, and any existing or planned pedestrian circulation systems to the site.</p> <ul style="list-style-type: none"> <li>• For developments with multiple vehicular ingress/ egress drives, there shall be at least one (1) pedestrian ingress/ egress connection from the right-of-way sidewalk to the pedestrian circulation system on the site for each vehicular ingress/ egress drive provided.</li> <li>• The pedestrian circulation system shall be constructed of concrete, pavers, crushed aggregate, or a combination thereof.</li> <li>• The pedestrian circulation system may meander to protect trees and understory and other natural landscape features.</li> <li>• The continuous pedestrian circulation system shall be separated from parking stalls, streets, and drives with a combination of landscaping and edging.</li> <li>• The pedestrian circulation system may cross loading areas, streets, and drives, but in such cases shall include high visibility pavement markings.</li> </ul>	

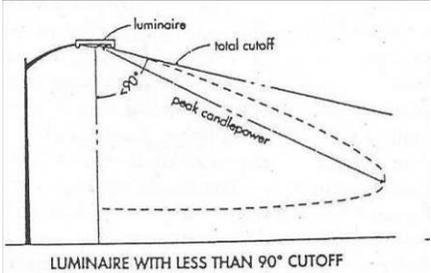
# Bulverde Road Preservation Corridor District

	<p><b>Design Standards</b></p> <p>Design Standards are objective, measurable regulations with which all projects must comply.</p>	<p><b>Illustrative Pictures/ Diagrams</b></p> <p>Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.</p>
	<p><u>Right-of-way Sidewalks</u>                      With the exception of sidewalks along Bulverde Road, right-of-way sidewalks shall include a minimum two (2)-foot wide planting strip. The planting strip width may be reduced where necessary to preserve existing trees or understory. Right-of-way sidewalks shall align with existing sidewalks that serve abutting parcels.</p>	
<p><b>(3)</b></p>	<p><b>Off-Street Parking and Loading</b></p>	
	<ul style="list-style-type: none"> <li>• Off-street parking shall not be permitted in the front yard unless the parking area is screened from view of the Bulverde Road right-of-way through the preservation of existing trees and understory and/ or the planting of trees and understory.</li> <li>• All dock height opening and loading doors shall be located to the sides or rear of the building and screened from view of the Bulverde Road right-of-way. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section 3.(b)(1) of this document); evergreen plant materials with irrigation, or landscaped earthen berm.</li> <li>• Parking and off-street loading areas that abut a single-family residential zoning district shall be screened from view of the abutting single-family residential zoning district with an eight (8)-foot tall masonry fence/ wall in addition to applicable bufferyard requirements specified in §35-510.</li> </ul>	 

# Bulverde Road Preservation Corridor District

	<b>Design Standards</b> Design Standards are objective, measurable regulations with which all projects must comply.	<b>Illustrative Pictures/ Diagrams</b> Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.
<b>(4)</b>	<b>Fences/ Walls</b>	
	<ul style="list-style-type: none"> <li>Fences/ walls located within the front yard shall be limited to a height of three (3) feet and shall be constructed of, or fully clad with, rough-cut limestone and/ or sandstone (or other material of similar appearance, including cultured stone and cast stone). Other materials shall not be permitted for fences/ walls located in the front yard. If utilized, front yard fences/ walls shall be located on the building side of the front natural buffer (see section 3.(a)(8) of this document), not immediately adjacent to the street.</li> <li>Residential subdivision perimeter fencing that is adjacent to Bulverde Road shall be constructed of, or fully clad with, rough-cut limestone and/ or sandstone (or other material of similar appearance, including cultured stone and cast stone) and shall include climbing vines, shrubs, trees, or ornamentals along at least fifty (50) percent of the base of the wall.</li> <li>No provision of this overlay district shall be construed to limit the height of residential subdivision perimeter fencing or sound barriers/ walls installed by the City of San Antonio, Bexar County, or TxDOT.</li> <li>Metal security fences enclosing stormwater management facilities shall be screened from view of public right-of-ways and private streets by tall shrubs or other vegetation.</li> </ul>	
<b>(5)</b>	<b>Screening</b>	
	<p><u>Parking Lot Screening</u></p> <ul style="list-style-type: none"> <li>Parking areas shall be screened from view of public right-of-ways and private streets to a minimum height of three (3) feet by dense landscaping, berms and landscaping, or rock walls and landscaping.                         <ul style="list-style-type: none"> <li>Planted screens are encouraged to utilize a variety of native plant species that will vary in height and density but where installed shall form a visual barrier at maturity.</li> <li>Tree and understory preservation may be utilized to satisfy the parking lot screening requirement and shall count toward the tree preservation and canopy requirements in §35-523.</li> <li>Parking lot screening installed to satisfy this requirement shall be eligible to obtain landscaping points for elective criteria in accordance with §35-511.</li> </ul> </li> </ul>	

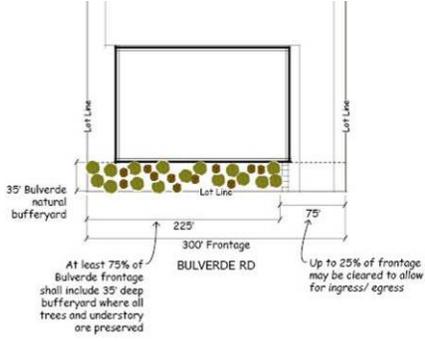
# Bulverde Road Preservation Corridor District

<p><b>Design Standards</b></p> <p>Design Standards are objective, measurable regulations with which all projects must comply.</p>	<p><b>Illustrative Pictures/ Diagrams</b></p> <p>Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.</p>
<ul style="list-style-type: none"> <li>• Parking areas within parking structures shall be screened from view of public right-of-ways and private streets to a minimum height of one (1) story. Screening may be achieved by construction of a solid wall with approved building materials (i.e liner building) (see section 3.(b)(1) of this document), dense landscaping, or berms and landscaping.</li> </ul> <p><u>Screening for mechanical equipment, dumpsters &amp; storage</u></p> <ul style="list-style-type: none"> <li>• Outside storage and service areas, storage tanks, refuse storage areas, dumpsters, compactors, and air conditioning/ heating equipment, shall be located in the side or rear yards and shall be screened from view of public right-of-ways and private streets. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section 3.(b)(1) of this document) with metal or wooden gates; evergreen plant materials with irrigation, or landscaped earthen berm.</li> <li>• Sites that include multiple screening enclosures shall utilize a consistent design for all enclosures.</li> <li>• Roof top mounted equipment shall be screened from view of abutting public right-of-ways and private streets through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials (see section 3.(b)(1) of this document).</li> </ul>	   <p>LUMINAIRE WITH LESS THAN 90° CUTOFF</p>

# Bulverde Road Preservation Corridor District

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<b>(6)</b>	<b>Lighting</b>	
	<ul style="list-style-type: none"> <li>• Exterior lighting fixtures for parking lots, walkways, and building entrances shall include a cutoff angle of ninety (90) degrees or less and be positioned so as to not emit light above the horizontal plane. Any structural part of the fixture providing this cut-off angle shall be permanently affixed.</li> <li>• Building exteriors and architectural details may be illuminated, but only from a light source that is positioned above the building exterior or detail to be illuminated such that the light generated is directed at a downward angle toward the surface to be illuminated (downlighting). Fixtures utilized to illuminate building exteriors or details shall include a cutoff angle of ninety (90) degrees or less.</li> <li>• A fixture that allows for indirect uplight is permitted under a canopy or awning provided that the canopy or awning is opaque and no portion of the lamp or any part of the lens or diffuser is visible from beyond the canopy or awning and no up-light is emitted beyond the canopy.</li> </ul>	
<b>(7)</b>	<b>Landscaping</b>	
	<ul style="list-style-type: none"> <li>• In addition to the mandatory landscaping requirements established by §35-511, landscape plans shall earn a minimum of eighty-five (85) points for elective requirements. Points are awarded based on the criteria specified in §35-511.</li> <li>• Plants utilized to fulfill the landscaping requirements shall be selected from the list of native Texas plants in the San Antonio Recommended Plant List found in UDC Appendix E.</li> </ul>	

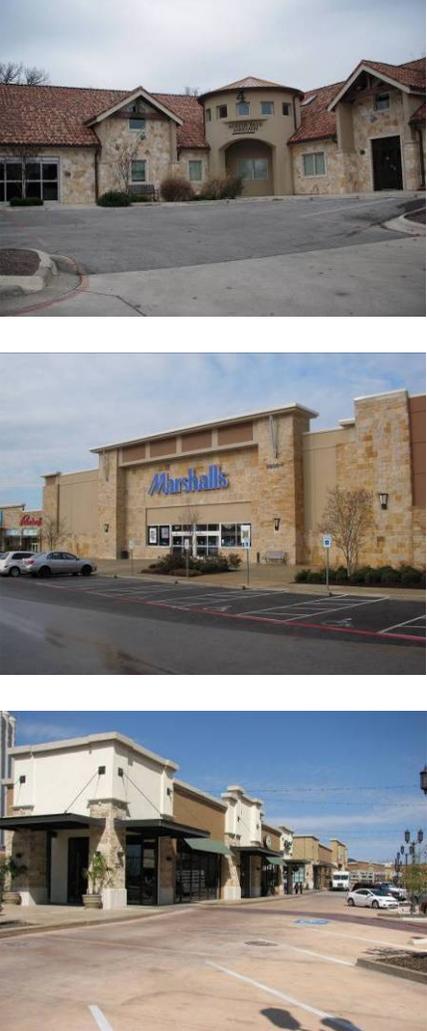
# Bulverde Road Preservation Corridor District

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<b>(8)</b>	<p><b>Tree Preservation/ Front Natural Bufferyard</b></p>	
	<ul style="list-style-type: none"> <li>• For lots that abut the Bulverde Road right-of-way, all vegetation within the first thirty-five (35) feet of the property shall be preserved, unless the removal of vegetation is necessary to provide utilities or to provide pedestrian and/ or vehicular access to the site, in which case vegetation removal shall occur on no more than twenty-five (25) percent of the total linear frontage.</li> <li>• For flag lots platted pursuant to §35-515(h), vegetation removal shall be permitted on a linear frontage not to exceed the minimum required driveway width plus four (4) feet.</li> <li>• Non-native, invasive tree species as specified in §35-523 and non-native and/ or invasive understory plants shall not be subject to this requirement.</li> <li>• Preserved trees and understory within this area shall be eligible to obtain landscaping points for elective criteria in accordance with §35-511 and count toward the tree preservation and canopy requirements in §35-523.</li> <li>• Preserved trees, shrubs and understory within the first thirty-five (35) feet of the property abutting the Bulverde Road right-of-way shall be supplemented with new plantings, as necessary to meet or exceed the equivalent planting units (EPUs) required for a Type D bufferyard as specified in §35-510(d)(2) to extend to a depth of thirty-five (35) feet along at least seventy-five (75) percent of the total linear frontage.</li> <li>• Fences and/or walls shall not be required for the bufferyard. If a fence and/or wall is installed, the fence and/or wall shall comply with the fencing standards in section 3.(a)(4) of this document.</li> </ul>	 
<b>(9)</b>	<p><b>Satellite Dishes and Components</b></p>	
	<p>Satellite dishes and components shall be screened from view of public right-of-ways and private streets to the extent permitted by federal law. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section 3.(b)(1) of this document), evergreen plant materials with irrigation, or landscaped earthen berm. Roof top mounted satellite dishes and components shall be screened through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials (see section 3.(b)(1) of this document).</p>	

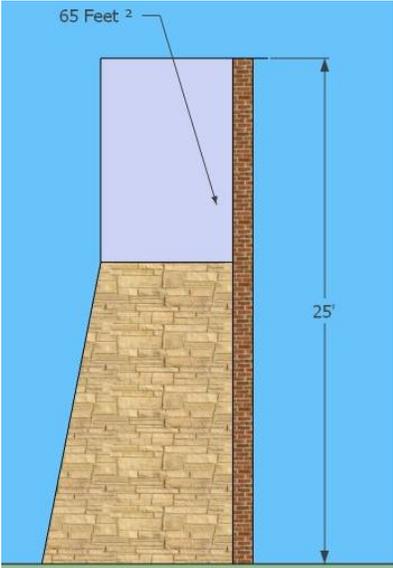
# Bulverde Road Preservation Corridor District

	<b>Design Standards</b> Design Standards are objective, measurable regulations with which all projects must comply.	<b>Illustrative Pictures/ Diagrams</b> Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.
<b>(10)</b>	<b>Solar Systems and Components</b>	
	Solar systems and components shall be screened from view of public right-of-ways and private streets. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section 3.(b)(1) of this document); evergreen plant materials with irrigation, or landscaped earthen berm. Roof top mounted solar systems and components shall be screened through the use of parapet walls, mansard roof forms, or other permanently affixed, solid, opaque building materials (see section 3.(b)(1) of this document). In lieu of screening, solar systems and components may be integrated into the design of the structure.	
<b>(11)</b>	<b>Utilities</b>	
	<ul style="list-style-type: none"> <li>• On-site utilities shall be located underground unless required by the utility to be otherwise located. This requirement does not apply to electrical transmission or distribution lines.</li> <li>• Utility boxes, utility pillars, utility cabinets, and other utility equipment shall be screened from view of public right-of-ways and private streets. Screening may be achieved by construction of a solid walled enclosure with approved building materials (see section 3.(b)(1) of this document); evergreen plant materials with irrigation, or landscaped earthen berm. Screening may be omitted from a single side of the utility box, utility pillar, or utility cabinet where unobstructed access is required by the utility provider.</li> </ul>	
<b>(b)</b>	<b>BUILDING</b>	
<b>(1)</b>	<b>Building Materials</b>	
	Street wall facades shall include glass with a reflectance of twenty (20) percent or less and at least three (3) distinct materials and/ or colors, subject to the following requirements: <ul style="list-style-type: none"> <li>• Primary building materials shall be selected from the primary building materials list and shall comprise at least eighty-five (85) percent of a single elevation,</li> <li>• Elevations shall be comprised of at least fifteen (15) percent rough-cut limestone and/ or sandstone (or other material of similar appearance, including cultured stone and cast stone),</li> </ul>	

# Bulverde Road Preservation Corridor District

<p><b>Design Standards</b></p> <p>Design Standards are objective, measurable regulations with which all projects must comply.</p>	<p><b>Illustrative Pictures/ Diagrams</b></p> <p>Illustrative pictures and diagrams are provided for reference. In the event of a conflict, text shall prevail.</p>
<ul style="list-style-type: none"> <li>• Accent materials, as defined herein, shall comprise no more than fifteen (15) percent of a single elevation, and</li> <li>• Building materials (primary and accent) shall include only earth tone colors, regardless of whether color is applied or integral to the material, except that building materials may include the color black, whether applied or integral to the material, so long as the total amount of black-colored building materials does not exceed ten (10) percent of any single elevation</li> </ul> <p><u>Primary Building Materials</u> The following building materials are permitted for use as primary building material (i.e. approved building materials):</p> <ul style="list-style-type: none"> <li>• Glass with a reflectance of twenty (20) percent or less</li> <li>• Natural stone</li> <li>• Brick</li> <li>• Tile</li> <li>• Stucco</li> <li>• EIFS</li> <li>• Cultured stone or cast stone</li> <li>• Architecturally finished block (i.e. burnished block, split-faced block)</li> <li>• Architecturally finished pre-cast or poured in place concrete wall (i.e. tilt-up wall or tilt wall) that is profiled, sculptured, or otherwise provides three dimensional interest</li> <li>• Cement fiber siding</li> </ul> <p><u>Accent Building Materials</u> Materials not included in the approved building materials list or the prohibited building materials list may be used as accent materials for street wall facades. The total area of all accent materials shall not exceed fifteen (15) percent of any single elevation.</p> <p><u>Prohibited Building Materials</u> The following building materials are prohibited for use as the primary building material or accent material for street wall facades.</p> <ul style="list-style-type: none"> <li>• Metal building panels (this prohibition does not include metal used for awnings, canopies, exposed trusses, or other decorative elements)</li> <li>• Plastic siding</li> </ul>	 <p>The top photograph shows a residential-style building with a mix of stone, brick, and stucco. The middle photograph shows a Marshall's store with a prominent stone and brick facade. The bottom photograph shows a commercial building with a mix of stone, brick, and stucco.</p>

# Bulverde Road Preservation Corridor District

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	<ul style="list-style-type: none"> <li>Exposed aggregate</li> <li>Glass with a reflectance greater than twenty (20) percent</li> </ul> <p><u>Overhead Doors</u> Overhead doors shall not be permitted on the street wall facade.</p> <p><u>Roofing Materials</u> Roofing materials visible from a public right-of-way or private street shall be limited to earth tone colors, regardless of whether color is applied, or integral to the material. This provision shall not apply to solar systems and components that are integrated into the design of the structure.</p>																	
<b>(c)</b>	<b>SIGNS</b>																	
<b>(1)</b>	<b>Off-Premises Signs</b>																	
	Off-premises signs shall not be permitted.																	
<b>(2)</b>	<b>Freestanding On-Premises Signs</b>																	
	<p>Design standards apply to all freestanding on-premises signs within the boundaries of the overlay district, regardless of whether they are placed adjacent to, or are visible from, Bulverde Road. No provision in this section may be construed to prohibit a Sign Master Plan Development Agreement as defined by §28-244 of the Municipal Code. Signs prohibited by §28-220 of the Municipal Code shall be prohibited within this Corridor.</p> <p>Maximum sign height and maximum sign message area for freestanding on-premises signs are determined based on the classification of the adjacent roadway as follows:</p> <p><u>Maximum Height</u></p> <table border="1" data-bbox="262 1205 1451 1344"> <thead> <tr> <th></th> <th>Expressway</th> <th>Arterial Type A</th> <th>Arterial Type B</th> </tr> </thead> <tbody> <tr> <td>Single Tenant</td> <td>35 ft.</td> <td>25 ft.</td> <td>10 ft.</td> </tr> <tr> <td>Dual Tenant</td> <td>40 ft.</td> <td>30 ft.</td> <td>10 ft.</td> </tr> <tr> <td>Multiple Tenant</td> <td>40 ft.</td> <td>40 ft.</td> <td>15 ft.</td> </tr> </tbody> </table>		Expressway	Arterial Type A	Arterial Type B	Single Tenant	35 ft.	25 ft.	10 ft.	Dual Tenant	40 ft.	30 ft.	10 ft.	Multiple Tenant	40 ft.	40 ft.	15 ft.	
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# Bulverde Road Preservation Corridor District

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<p><b>Maximum Message Area</b></p> <table border="1" data-bbox="264 380 1451 521"> <thead> <tr> <th></th> <th>Expressway</th> <th>Arterial Type A</th> <th>Arterial Type B</th> </tr> </thead> <tbody> <tr> <td>Single Tenant</td> <td>200 sq. ft.</td> <td>65 sq. ft.</td> <td>64 sq. ft.</td> </tr> <tr> <td>Dual Tenant</td> <td>250 sq. ft.</td> <td>150 sq. ft.</td> <td>64 sq. ft.</td> </tr> <tr> <td>Multiple Tenant</td> <td>300 sq. ft.</td> <td>200 sq. ft.</td> <td>96 sq. ft.</td> </tr> </tbody> </table> <p><b>Placement</b> One freestanding on-premises sign per platted lot is permitted. Additional freestanding on-premises signs shall be permitted if a minimum spacing between signs of two hundred (200) feet exists along one side of the street and no sign is within the clear vision area as defined by §35-506. Additional freestanding on-premises signs shall not exceed seventy-five (75) percent of the allowable height and message area of the primary sign as specified above.</p> <p><b>Building Materials</b> Freestanding on-premises signs shall include a finished base to encase/ enclose the support structure(s). The finished base shall be constructed of materials approved for use as primary building materials (see section 3.(b)(1) of this document) and should match or complement the materials used on buildings on the site. Freestanding on-premises signs shall include landscaping consisting of vines, ornamentals, or other groundcover around the finished base. If any portion of the freestanding on-premises sign support structure is painted, only earth tone colors shall be utilized.</p>		Expressway	Arterial Type A	Arterial Type B	Single Tenant	200 sq. ft.	65 sq. ft.	64 sq. ft.	Dual Tenant	250 sq. ft.	150 sq. ft.	64 sq. ft.	Multiple Tenant	300 sq. ft.	200 sq. ft.	96 sq. ft.	
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<p><b>(3) Attached On-Premises Signs</b></p> <p>Design standards apply to all attached on-premises signs within the boundaries of the overlay district, regardless of whether they are placed adjacent to, or are visible from, Bulverde Road. Signs prohibited by §28-220 of the Municipal Code shall be prohibited within this Corridor.</p> <p>Maximum sign message area is calculated as a percentage of the area of each building elevation and is determined based on the classification of the adjacent roadway as follows:</p>																	

## Bulverde Road Preservation Corridor District

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	<p><u>Expressway</u>                      15% cabinet sign                      20% channel letters raised or incised                      15% painted or flat sign</p> <p><u>Arterial Type A and Arterial Type B</u>                      10% cabinet sign                      10% channel letters raised or incised                      10% painted or flat sign</p>	