

CITY OF SAN ANTONIO

Zoning Commission Agenda

Cliff Morton Development and Business Services Center
1901 S. Alamo Street
Board Room

Tuesday, June 15, 2010
12:45 PM

ZONING COMMISSIONERS

Ralph Medina – District 1	Christopher Martinez – District 6
Bennie Cole – District 2	David Christian – District 7
Andrew Anguiano – District 3	Billy J. Tiller – District 8
Jim Myers – District 4	Milton R. McFarland – District 10
Joe Valadez – District 5	Brenna Nava – District Mayor
Susan Wright – District 9 Chair	

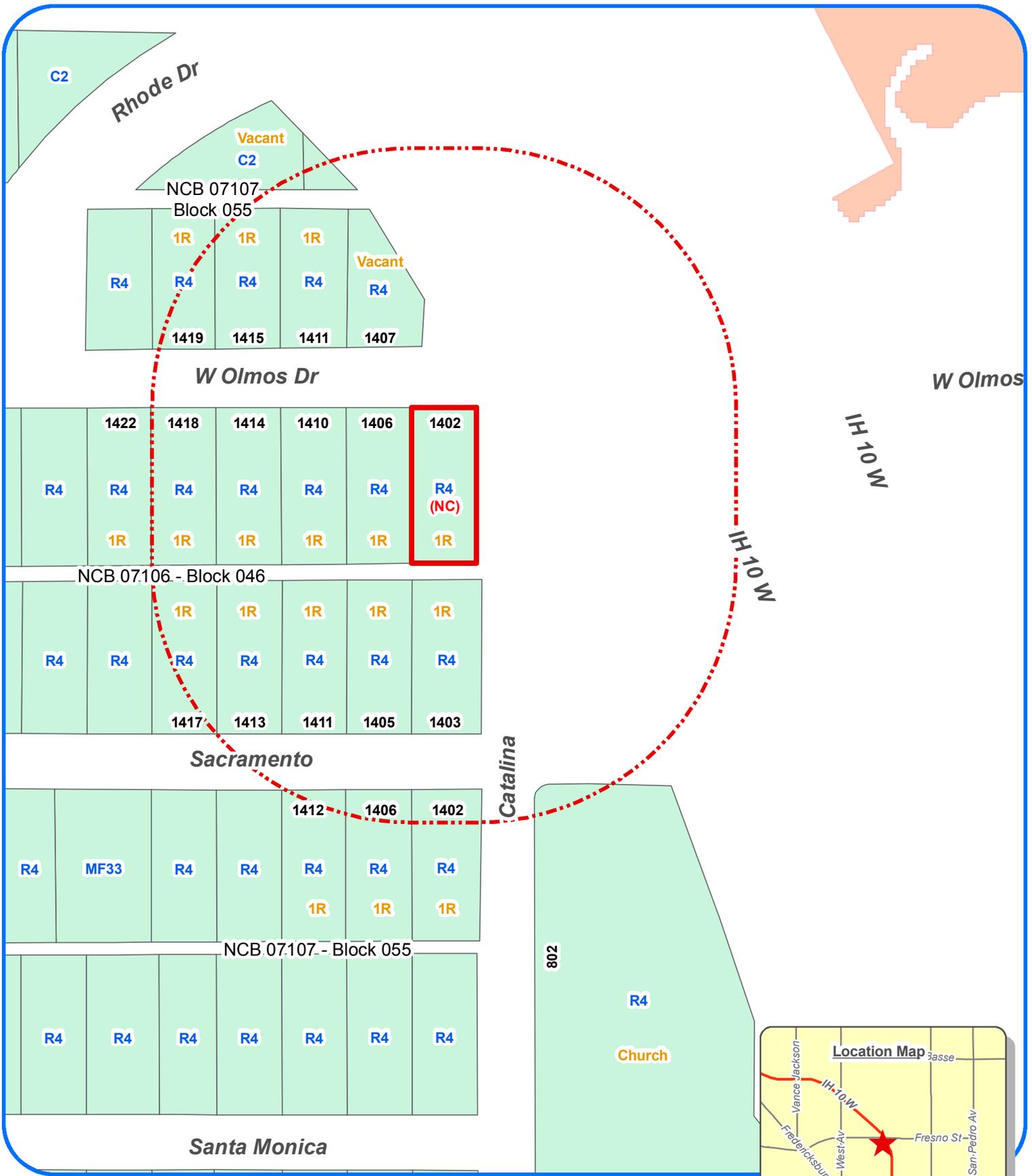
1. **12:45 PM** - Work Session discussion of policies and administrative procedures and any items for consideration on the agenda for June 15, 2010.
2. **1:00 P.M.** Board Room– Call to Order.
3. Roll Call.
4. Pledge of Allegiance.
5. Approval of June 1, 2010 Zoning Commission Minutes.
6. **ZONING CASE NUMBER Z2010090:** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District to “NC AHOD” Neighborhood Commercial Airport Hazard Overlay District on Lot 10, Block 46, NCB 7106, 1402 West Olmos Drive.
(Council District 1)
7. **ZONING CASE NUMBER Z2010045:** A request for a change in zoning from “H C-3 AHOD” General Commercial Mission Historic Airport Hazard Overlay District and “H C-3 AHOD MC-1” General Commercial Mission Historic Airport Hazard Overlay Roosevelt Avenue Metropolitan Corridor Overlay District to “H I-2 AHOD” Heavy Industrial Mission Historic Airport Hazard Overlay District and “H I-2 AHOD MC-1” Heavy Industrial Mission Historic Airport Hazard Overlay Roosevelt Avenue Metropolitan Corridor Overlay District on 0.725 of an acre out of NCB 7665, 1018 East Southcross Boulevard. (Council District 3)
8. **ZONING CASE NUMBER Z2010096 CD:** A request for a change in zoning from “O-1 GC-1 MLOD-1” Office Gateway Corridor Military Lighting Overlay District, “C-2 GC-1 MLOD-1” Commercial Gateway Corridor Military Lighting Overlay District, “C-2 CD GC-1 MLOD-1” Commercial Gateway Corridor Military Lighting Overlay District with a Conditional Use for a Office Warehouse and Motel and “C-1 S GC-1 MLOD-1” Light Commercial Gateway Corridor Military Lighting Overlay District with a Specific Use Authorization for a restaurant, theater, and sales of alcoholic beverages incidental to consumption of food sales to “C-2 CD GC-1 MLOD-1” Commercial

Gateway Corridor Military Lighting Overlay District with a Conditional Use for a Motor Vehicles Sales - Full Service on A 8.902 acre tract of land out of NCB 35733 and NCB 18337 on a portion of the 21400 Block of Interstate Highway 10 West. (Council District 8)

9. **ZONING CASE NUMBER Z2010104:** A request for a change in zoning from “R-4 NCD-5 AHOD” Residential Single-Family Beacon Hill Area Neighborhood Conservation Airport Hazard Overlay District to “MF-18 NCD-5 AHOD” Multi-Family Beacon Hill Area Neighborhood Conservation Airport Hazard Overlay District on the west 16.5 feet of the north 88 feet of Lot 44 and the north 88 feet of Lots 45 and 46, Block 2, NCB 3103, 1042 West Lynwood. (Council District 1)
10. **ZONING CASE NUMBER Z2010108:** A request for a change in zoning from “R-6” Residential Single-Family District to “C-3” General Commercial District on Lots 16 and 17, Block 3, NCB 17637, 5544 and 5554 Rogers Road. (Council District 6)
11. **Executive Session:** consultation on attorney-client matters (real estate, litigation, personnel and security matters) as well as any of the above agenda items may be discussed.
12. **ADJOURNMENT.**

Accessibility Statement

This meeting is wheelchair accessible. Accessible entrances are located at the front and side of the building at 1901 South Alamo Street. Accessible parking spaces are located at the front and rear of the building. **Auxiliary Aids and Services are available upon request (Interpreters for the Deaf must be requested forty-eight [48] hours prior to the meeting).** For Assistance, Call (210) 207-7245 Voice/TTY.



Zoning Case Notification Plan

Case Z-2010-090

Council District 1

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 07106 - Block 046 - Lot 10

Legend

- Subject Property (0.1377 Acres)
- 200' Notification Buffer
- Current Zoning **TEXT**
- Requested Zoning Change **TEXT**
- 100-Year DFIRM Floodplain



Planning & Development Services Dept
 City of San Antonio
 (04/21/2010 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).

CASE NO: Z2010090

Final Staff Recommendation - Zoning Commission

Date: June 15, 2010

Continuance (Applicant's request) from May 4 and June 1, 2010.

Council District: 1

Ferguson Map: 582 B6

Applicant Name:
Jerry Arredondo

Owner Name:
Burl W and Janie L Brock

Zoning Request: From "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District to "NC AHOD" Neighborhood Commercial Airport Hazard Overlay District.

Property Location: Lot 10, Block 46, NCB 7106

1402 West Olmos Drive

On the southwest side of West Olmos Drive and Catalina Street

Proposal: To allow for neighborhood businesses

Neigh. Assoc.: The Northwest Los Angeles Heights Neighborhood Association is the nearest registered association

Neigh. Plan: Near Northwest Community Plan

TIA Statement: A Traffic Impact Analysis (TIA) is not required.

Staff Recommendation:

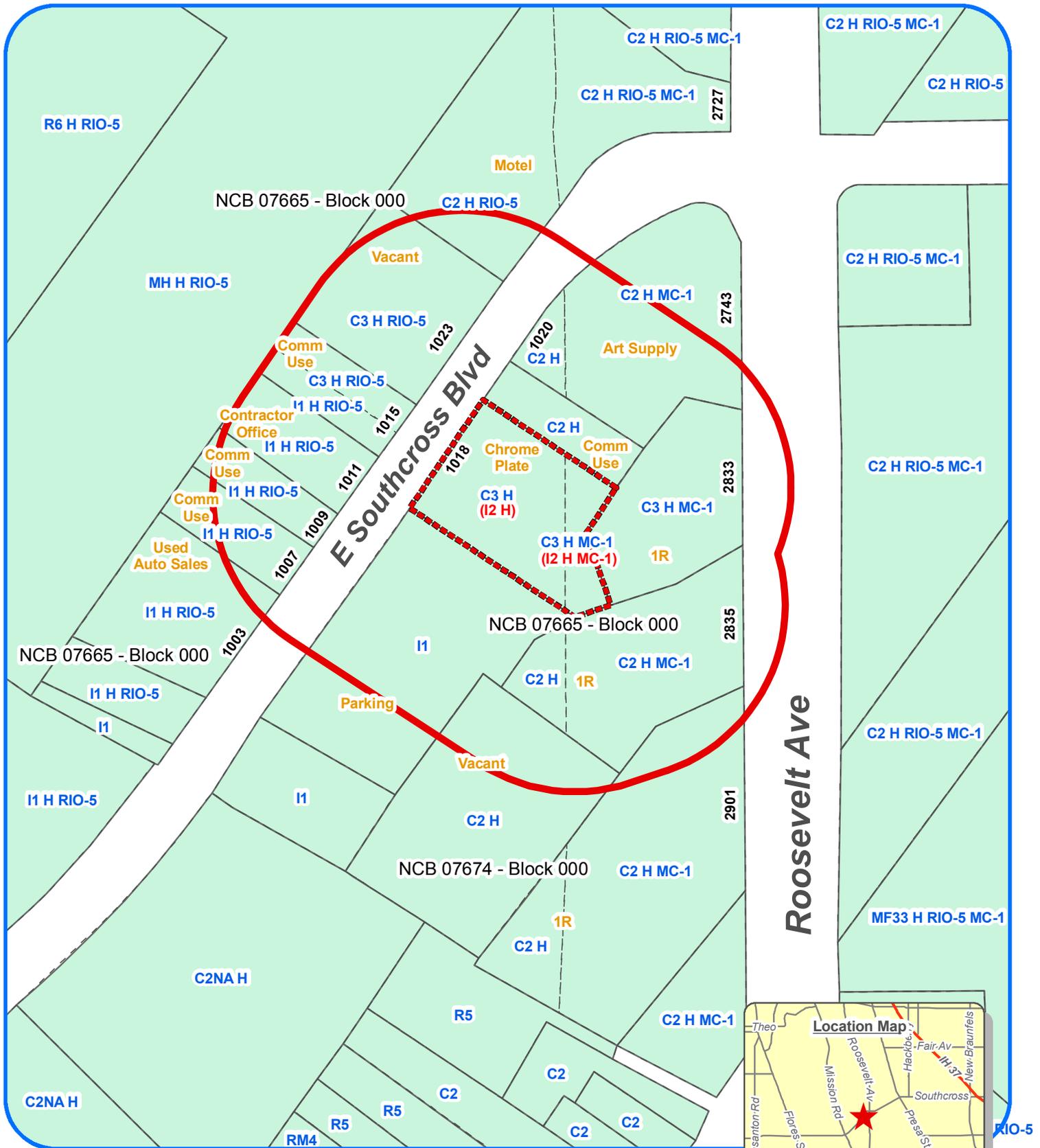
Denial.

The subject property is located northwest of downtown, on the southwest corner of West Olmos Drive and Catalina Street. The subject property currently consists of a vacant single-family dwelling located on one lot and is comprised of approximately 0.1377 of an acre. The surrounding zoning consists of "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District on adjacent properties the west, south and across West Olmos Drive to the north. The existing neighboring land uses are occupied by single-family dwellings or vacant land. Access to the property would be from the existing drive on Catalina Street.

The subject property is located in the Near Northwest Community Plan. The future land use designation for the subject property is Urban Low Density Residential. This land use classification mainly includes single-family houses on individual lots. The applicant applied for a plan amendment, which was heard by the Planning Commission on April 14. The proposed plan amendment request was continued at that time until April 28, for which Planning Commission has recommended denial. The applicant is seeking a plan amendment to remedy the incongruity between the proposed use and the use proscribed by the Near Northwest Community Plan. The Neighborhood Planning and Urban Design Staff Plan Amendment Recommendation is for Denial. The Community Plan recommends that the existing housing mix be preserved. Amending the land use plan to Neighborhood Commercial would be incompatible with that goal.

The Neighborhood Commercial land use classification provides for offices, professional services, and shopfront retail uses that are pedestrian oriented. These uses should be located at the intersection of a collector and local street or where an existing commercial area has been established. Structures should have a maximum size of 5,000 square feet or the square footage of an existing building. A majority of the ground floor façade should be composed of windows and parking areas should be located behind the building, with the exception of one row of angled or head-in parking along the street.

CASE MANAGER: Pedro Vega 207-7980



Zoning Case Notification Plan

Case Z2010045

Council District 3
 Scale: 1" approx. = 150 Feet
 Subject Property Legal Description(s): 0.725 of an acre out of NCB 07665

- Legend**
- Subject Property (0.725 Acres)
 - 200' Notification Buffer
 - Current Zoning TEXT
 - Requested Zoning Change TEXT
 - 100-Year DFIRM Floodplain



Planning & Development Services Dept
 City of San Antonio
 (01/27/2010 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District)

CASE NO: Z2010045

Final Staff Recommendation - Zoning Commission

Date: June 15, 2010

Council District: 3

Ferguson Map: 651 A4

Applicant Name:
Gary Smith

Owner Name:
1018 Southcross LLC

Zoning Request: From "H C-3 AHOD" General Commercial Mission Historic Airport Hazard Overlay District and "H C-3 AHOD MC-1" General Commercial Mission Historic Airport Hazard Overlay Roosevelt Avenue Metropolitan Corridor Overlay District to "H I-2 AHOD" Heavy Industrial Mission Historic Airport Hazard Overlay District and "H I-2 AHOD MC-1" Heavy Industrial Mission Historic Airport Hazard Overlay Roosevelt Avenue Metropolitan Corridor Overlay District.

Property Location: 0.725 of an acre out of NCB 7665

1018 East Southcross Boulevard

On the southeast side of East Southcross Boulevard, approximately 450 feet west of Roosevelt Avenue

Proposal: To bring the existing chrome plating facility into compliance and to allow possible future expansion of the facility

Neigh. Assoc.: Mission San Jose Neighborhood Association (inactive); Riverside South Neighborhood Association is within 200 feet.

Neigh. Plan: South Central Community Plan

TIA Statement: A Traffic Impact Analysis (TIA) is not required.

Staff Recommendation:

The subject property is located within the South Central Community Plan. The requested zoning change is inconsistent with the Future Land Use Plan, which designates the subject property as "Mixed Use". The requested zoning will require amending the plan to a "Heavy Industrial" land use designation. The plan amendment request is scheduled to be heard by the Planning Commission on June 23, 2010. Staff recommends denial of the request.

Denial.

The subject property, located on the southeast side of East Southcross Boulevard approximately 450 feet west of Roosevelt Avenue, is 0.725 of an acre of a larger 2.59 acre tract. According to the Bexar County Appraisal District property details, the existing industrial structure measures approximately 20,160 square feet and was built in 1975. In a 1985 City-initiated zoning case, the subject property was rezoned from multiple zoning districts to "H B-3" Business Mission Historic District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to "H C-3" General Commercial Mission Historic District. In a 2009 City-initiated zoning case, a portion of the subject property was included in the "MC-1" Roosevelt Avenue Metropolitan Corridor Overlay District. The remaining portions of the property are zoned "H I-1 AHOD" General Industrial Mission Historic Airport Hazard Overlay District (to the west of the subject area) and "H C-3 AHOD MC-1" (to the east of the subject area). Surrounding base zoning districts include "C-2" Commercial District, "C-3" and "I-1" to the north and west along Southcross Boulevard; with "C-2" to the south along Roosevelt. Surrounding properties also carry multiple overlay districts including "H" Mission Historic District, "AHOD" Airport Hazard Overlay District, "RIO-5" River Improvement Overlay District, and "MC-1" Roosevelt Avenue Metropolitan Corridor Overlay District. The applicant requests "I-2" Heavy Industrial District in an effort to bring the existing chrome-plating facility into compliance.

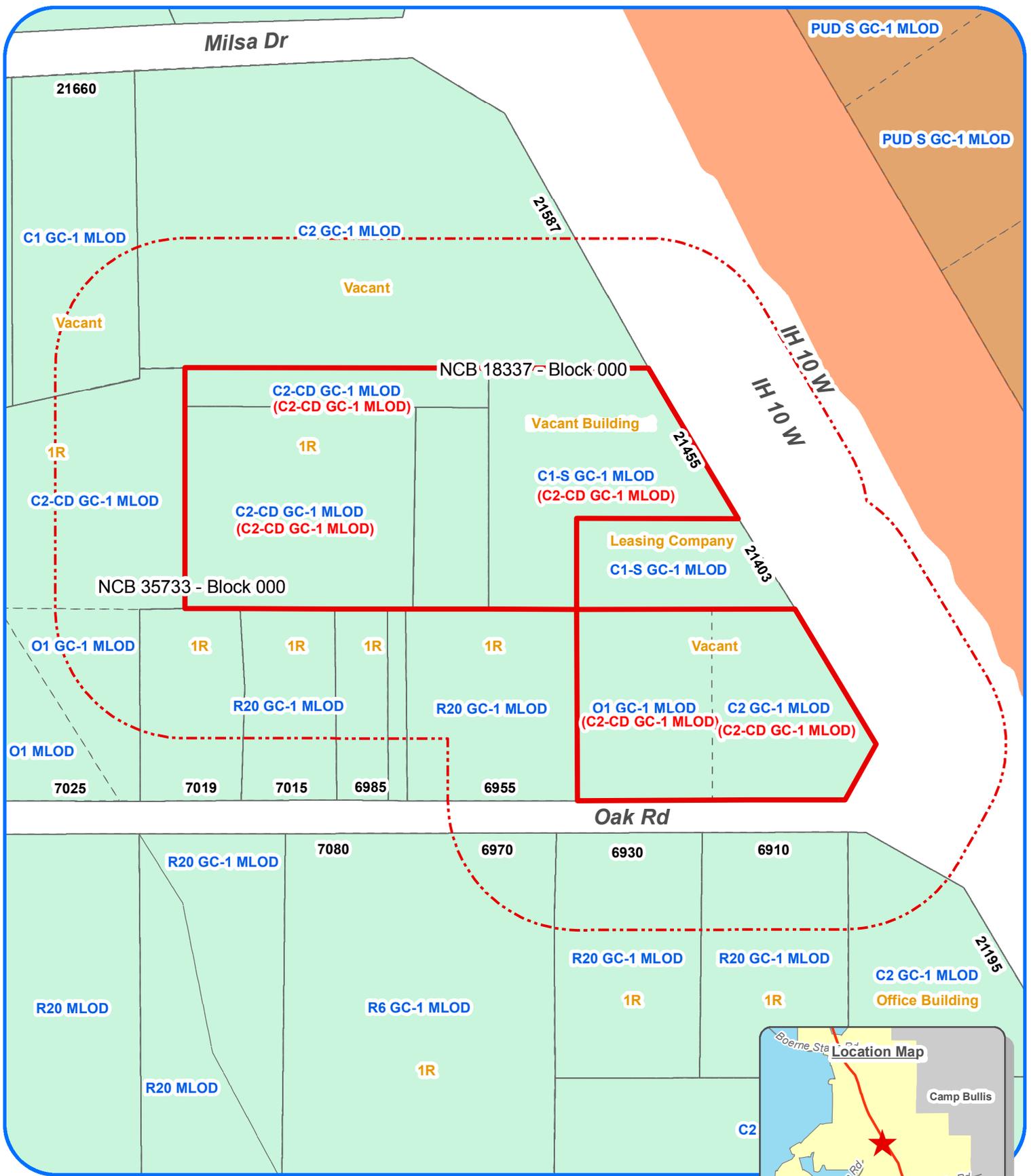
CASE NO: Z2010045

Final Staff Recommendation - Zoning Commission

Staff finds the requested zoning inappropriate for the subject property. The "I-2" Heavy Industrial District is meant to accommodate uses that are highly hazardous, environmentally severe in character, or that generate high volumes of truck traffic. Due to their intense nature and potential negative impacts, "I-2" properties should include substantial buffering from surrounding non-industrial uses. Additionally, the "I-2" district and its uses should continue the orderly development and concentration of industrial and manufacturing uses at sites with acreage that is sufficient to maintain compatibility with surrounding uses. The subject property is a portion of a larger lot and includes only the area encompassing the existing structure, and is surrounded by a mix of residential, retail, and service uses. Landscape buffer requirements for the "I-2" district are significant when the property abuts any commercial, office, or residential district; with required buffers ranging from 25 to 40 feet depending on the specific abutting zoning district. The subject property's configuration does not allow any buffering for surrounding properties. Should the requested zoning be approved, landscape buffer requirements would not be enforced unless new construction occurred on the subject property.

Approval of the requested zoning would constitute "spot-zoning" as the nearby Roosevelt Corridor was recently the subject of a comprehensive rezoning case. Through City Council initiation, a three-mile section of Roosevelt Avenue was rezoned from intense commercial and industrial zoning districts to lower-intensity commercial, office, and residential zoning districts in an effort to phase out non-contributing uses by reducing the intensity of allowed commercial uses and eliminating industrial zoning where it was in conflict with surrounding uses and the adopted land use plan. The requested "I-2" district is in direct conflict with the goals of the recent corridor rezoning.

CASE MANAGER: Micah Diaz 207-5876



Zoning Case Notification Plan

Case Z-2010-096 CD

Council District 8

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): NCB 18337 - Block 000 - N Irr 271.31 ft of Lot 1, E Irr 412.75 ft of Lot 7, Arb Lot 7B and a Portion of NCB 35733 - Block 000 - Lots 4N, 4S, 3N & W 534 ft of TR-6

Legend

- Subject Property (8.902 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change TEXT
- 100-Year DFIRM Floodplain ———
- Single-Family Residential 1R



Planning & Development Services Dept
City of San Antonio
(05/19/2010 - E Hart)

CASE NO: Z2010096 CD

Final Staff Recommendation - Zoning Commission

Date: June 15, 2010

Council District: 8

Ferguson Map: 480 A6

Applicant Name:
Kahlig Moto Co. (c/o Billy Vaughn)

Owner Name:
JOMO, Ltd.

Zoning Request: From "O-1 GC-1 MLOD-1" Office Gateway Corridor Military Lighting Overlay District, "C-2 GC-1 MLOD-1" Commercial Gateway Corridor Military Lighting Overlay District, "C-2 CD GC-1 MLOD-1" Commercial Gateway Corridor Military Lighting Overlay District with a Conditional Use for a Office Warehouse and Motel and "C-1 S GC-1 MLOD-1" Light Commercial Gateway Corridor Military Lighting Overlay District with a Specific Use Authorization for a restaurant, theater, and sales of alcoholic beverages incidental to consumption of food sales to "C-2 CD GC-1 MLOD-1" Commercial Gateway Corridor Military Lighting Overlay District with a Conditional Use for a Motor Vehicles Sales - Full Service.

Property Location: A 8.902 acre tract of land out of NCB 35733 and NCB 18337

A portion of the 21400 Block of Interstate Highway 10 West Interstate Highway 10 West between Oak Drive and Milsa Drive

Proposal: To allow for a full service automobile dealership

Neigh. Assoc.: Friends of Friedrich Wilderness Park

Neigh. Plan: None

TIA Statement: A Traffic Impact Analysis (TIA) is not required.

Staff Recommendation:
Approval.

The subject property is located in northwest San Antonio, on the southwest side of Interstate Highway 10 West. The subject property was annexed in December of 1989, totals 8.902 acres and is currently occupied by vacant buildings. The surrounding zoning includes "C-2 GC-1 MLOD-1" Commercial Hill Country Gateway Corridor Military Lighting Overlay District to the northwest and west with "C-1 GC-1 MLOD-1 S" Commercial Hill Country Gateway Corridor Military Lighting Overlay District and "R-20 GC-1 MLOD-1" Residential Single-Family Hill Country Gateway Corridor Military Lighting Overlay District to the south. A zoning change to the "C-2" district is appropriate along this portion of the Interstate Highway 10 West, as much of the western frontage along Interstate Highway 10 West from Boerne Stage Road south to Camp Bullis Road has several parcels with existing commercial zoning and uses. Locally-oriented commercial uses permitted in the "C-2" zoning district either by right, as a Conditional Use or under a Specific Use Authorization are more appropriate at this location than the "C-3" district, which is the City's most intense commercial zoning district.

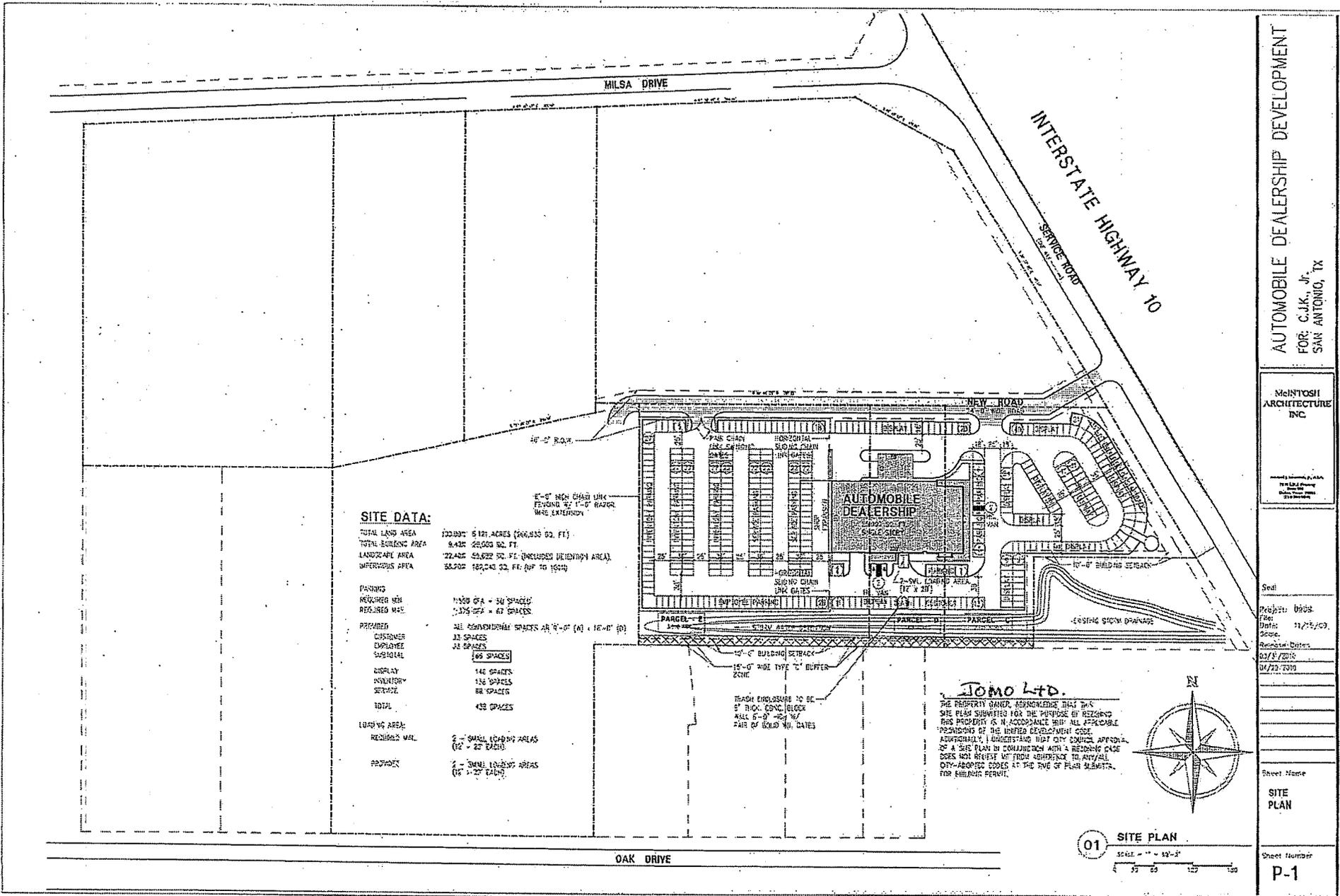
The applicant requests adding a Conditional Use for a Motor Vehicles Sales - Full Service in order to allow a full service automobile dealership. Staff finds the requested Conditional Use to be appropriate for the subject property. The applicant has submitted the required site plan with all the required information. The subject property is located within the Camp Bullis Awareness Zone/Military Influence Area. In accordance with the signed Memorandum of Understanding between Fort Sam Houston and the City of San Antonio, the Garrison Commander did not review the zoning request because the tract is smaller than 10 acres and is not immediately adjacent to Camp Bullis. The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions.

CASE NO: Z2010096 CD

Final Staff Recommendation - Zoning Commission

The granting of a conditional zoning classification shall not be for all of the uses permitted in a given district but shall be only for the conditional use named in the ordinance approving the conditional zoning district.

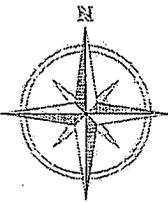
CASE MANAGER: Pedro Vega 207-7980



SITE DATA:

TOTAL LAND AREA	100,000 ± SQ. FT. ACRES (2.28 ACRES)
TOTAL BUILDING AREA	8,400 ± SQ. FT.
LANDSCAPE AREA	22,400 ± SQ. FT. (INCLUDES VEGETATION AREA)
UNSERVICED AREA	88,000 ± SQ. FT. (UP TO 1500)
PARKING	
REQUIRED MIN.	1,100 SPA + 50 SPACES
REQUIRED MAX.	1,100 SPA + 67 SPACES
PROVIDED	
CUSTOMER	32 SPACES
EMPLOYEE	32 SPACES
SUBTOTAL	64 SPACES
DISPLAY	140 SPACES
INVENTORY	130 SPACES
SERVICE	88 SPACES
TOTAL	438 SPACES
LOADING AREAS:	
RECEIVED WALL	2 - SMALL LOADING AREAS (12' x 27' EACH)
PROVIDED	2 - SMALL LOADING AREAS (12' x 27' EACH)

JOMO LTD.
 THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSES OF OBTAINING THIS PERMIT IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNITED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A RESIDING CASE DOES NOT RELIEVE ME FROM RESPONSIBILITY TO APPLY ALL CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMIT.



01 SITE PLAN
 SCALE = 1" = 30'-0"
 0 30 60 90 120 150

AUTOMOBILE DEALERSHIP DEVELOPMENT
 FOR: C.J.K., JR.
 SAN ANTONIO, TX

McINTOSH ARCHITECTURE INC

Scale
 Project: 0608
 Date: 11/15/09
 Sheet:
 Revision Dates:
 03/18/2010
 04/23/2010

Sheet Name
SITE PLAN

Sheet Number
P-1

CASE NO: Z2010104

Final Staff Recommendation – Zoning Commission

Date: June 15, 2010

Council District: 1

Ferguson Map: 582 C7

Applicant Name:
Arturo Bermea

Owner Name:
Arturo Bermea

Zoning Request: From "R-4 NCD-5 AHOD" Residential Single-Family Beacon Hill Area Neighborhood Conservation Airport Hazard Overlay District to "MF-18 NCD-5 AHOD" Multi-Family Beacon Hill Area Neighborhood Conservation Airport Hazard Overlay District.

Property Location: The west 16.5 feet of the north 88 feet of Lot 44 and the north 88 feet of Lots 45 and 46, Block 2, NCB 3103

1042 West Lynwood

On the southeast corner of Michigan Avenue and West Lynwood.

Proposal: To allow a duplex.

Neigh. Assoc.: Beacon Hill Neighborhood Association (inactive). The nearest active neighborhood association is the Keystone Neighborhood Association.

Neigh. Plan: Midtown Neighborhood Plan

TIA Statement: A Traffic Impact Analysis is not required.

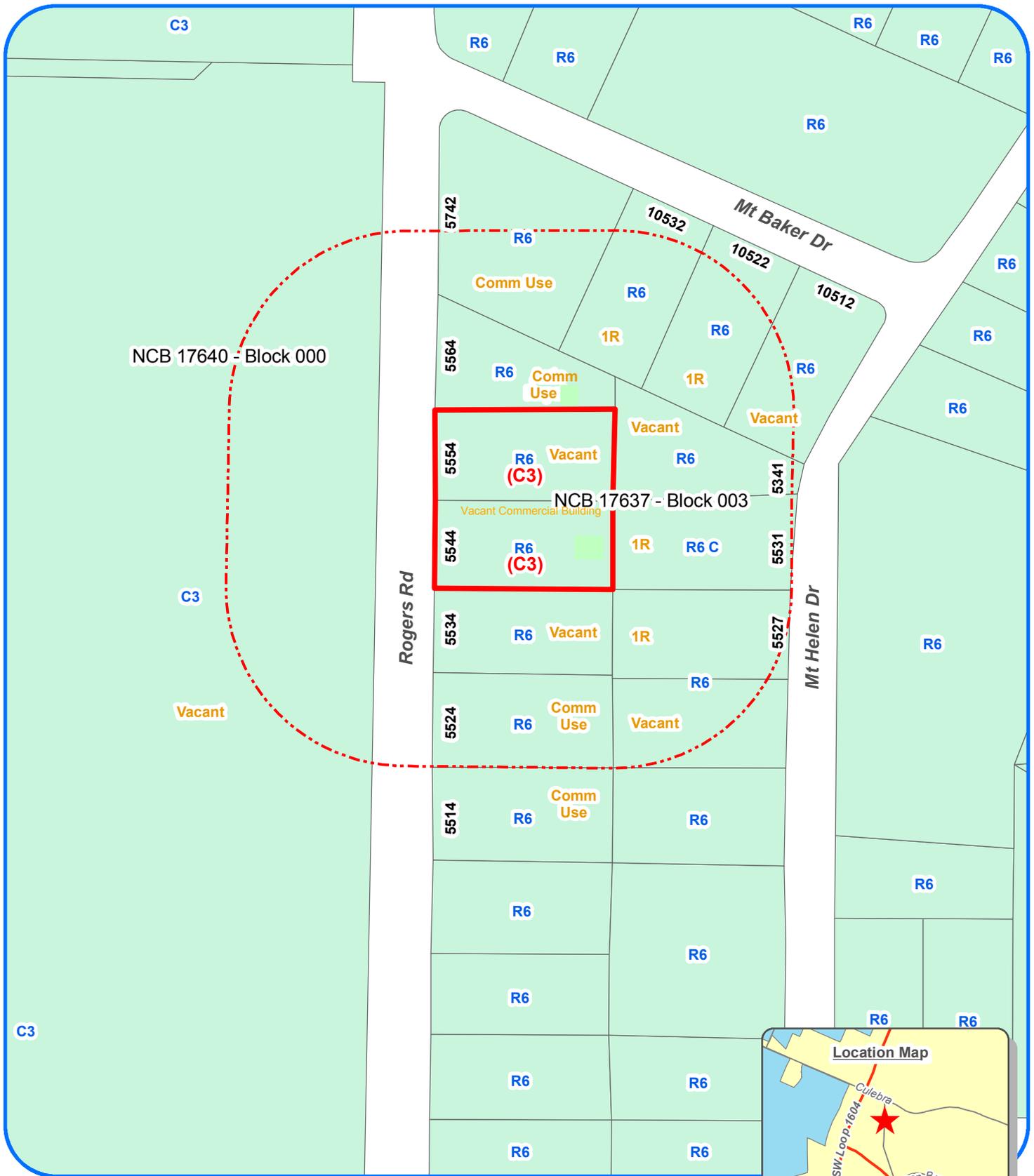
Staff Recommendation:
Approval.

The subject property is located on the southeast corner of Michigan Avenue and West Lynwood. The subject property is .1354 of an acre and is occupied by a two-family structure that measures approximately 1,100 square feet and was constructed in 1950. The property is adjacent to R-4 zoning to the east and south, R-6 zoning to the north, east, west and south. The parcel was originally zoned "R-7" Small Lot Residence District. Upon adoption of the 2001 Unified Development Code, the previous zoning converted to "R-4" Residential Single-Family District. The surrounding land uses consist of residential dwellings to the north, south, east and west. The Beacon Hill Area Neighborhood Conservation District Overlay (NCD-5) was applied to the area in December of 2005.

The applicant is requesting a zoning change to allow one (1) additional utility meter. The subject site contains a two family dwelling that is intended for remodel and lease. The site currently has only one meter loop. Although the general area is primarily zoned "R-6" Residential Single-Family District, there is an existing mix of residential use types in the general area. The current zoning of "R-4 AHOD" permits only single-family dwelling with a minimum lot size of 4,000 square feet. The "MF-18 AHOD" permits multi-family dwellings, single-family dwelling (detached, attached or townhouse), two-family dwelling, three-family dwelling, four-family dwelling, with a maximum density of 18 units per acre, but due to the lot's size, would allow only two units maximum.

Staff finds the requested "MF-18" Multi-Family District to be appropriate for the subject property as it is consistent with the Midtown Neighborhoods Plan and would not alter the character of the neighborhood. The Midtown Neighborhoods Plan encourages the conservation of the existing housing stock in the area. The plan calls for Low Density Residential land use for the subject property. However, the plan indicates that structures erected as multi-family housing should continue in this capacity even when located within a low density residential area. Furthermore, the property will be subject to the Beacon Hill Area NCD residential design standards.

CASE MANAGER: Brenda Valadez 207-7945



Zoning Case Notification Plan

Case Z-2010-108

Council District 6
 Scale: 1" approx. = 150 Feet
 Subject Property Legal Description(s): NCB 17637 - Block 003 - Lots 16 and 17

- Legend**
- Subject Property (0.919 Acres)
 - 200' Notification Area
 - Current Zoning
 - Requested Zoning Change
 - 100-Year DFIRM Floodplain
 - Single Family Residential
- TEXT
 (TEXT)
 1R



Planning & Development Services Dept
 City of San Antonio
 (05/25/2010 - E Hart)

CASE NO: Z2010108

Final Staff Recommendation - Zoning Commission

Date: June 15, 2010

Council District: 6

Ferguson Map: 578 C4

Applicant Name:
Salah Diab, Seda Consulting Engineers, Inc.

Owner Name:
Aziz Enterprises of America, Ltd.

Zoning Request: From "R-6" Residential Single-Family District to "C-3" General Commercial District.

Property Location: Lots 16 and 17, Block 3, NCB 17637

5544 and 5554 Rogers Road

On the east side of Rogers Road, south of Mount Baker Drive

Proposal: To allow for a Auto And Light Truck Repair and Motor Vehicle Sales (full service)

Neigh. Assoc.: Mountain View Acres Neighborhood Coalition

Neigh. Plan: None

TIA Statement: A Traffic Impact Analysis (TIA) is not required.

Staff Recommendation:

Denial.

The general commercial zoning district is a regional commercial district most appropriate at the intersections of major thoroughfares and along the frontages of super arterials and freeways. Since an appropriate transition of commercial zoning districts along the west side of Rogers Road southward from Culebra Road has begun, staff believes a less intense community commercial district would be more appropriate for the subject properties. Given the uses permitted within the requested zoning district and the adjacent single-family dwellings the, "C-3" would be too intense at this location. However, staff also recognizes that the businesses currently exist and the most appropriate recommendation would be to propose the lowest possible zoning.

The subject property was annexed in December of 1996, totals approximately 0.9182 acres. Lot 17 is vacant and Lot 16 is occupied by a vacant commercial structure. Upon adoption of the 2001 Unified Development Code, the existing "R-6" Residential Single Family District converted from the previous Temporary "R-1" Single-Family Residence District. Property to the east, north and south is zoned "R-6" Residential Single-Family District with "C-3" General Commercial District across Rogers Road to the west. Land uses immediately adjacent to the proposed development consist of commercial uses to the north and south with single-family dwellings to the east.

The applicant has applied for "C-3" in order to allow an Auto and Light Truck Repair and Motor Vehicle Sales (full service). The subject properties have frontage on Rogers Road, a Secondary Arterial Type A. There are multiple non-conforming properties with commercial uses along the east side of Rogers Road between Culebra Road and Mount Evans Drive due to development prior to annexation. A Type C buffer (15 feet) as stated in Article V, Division 3, Section 35-510 shall be maintained, adjacent to the residential zoning.

CASE MANAGER: Pedro Vega 207-7980