

# CITY OF SAN ANTONIO

## Zoning Commission Agenda

Cliff Morton Development and Business Services Center  
1901 S. Alamo Street  
Board Room

**Tuesday, November 16, 2010**  
**12:45 PM**

### ZONING COMMISSIONERS

Mariana Ornelas – District 1	Christopher Martinez – District 6
Bennie Cole – District 2	David Christian – District 7
Andrew Anguiano – District 3	Billy J. Tiller – District 8
Jim Myers – District 4	Milton R. McFarland – District 10
Vacant – District 5	Brenna Nava– District Mayor
Susan Wright – District 9	
Chair	

1. **12:45 PM** - Work Session - discussion of policies and administrative procedures and any items for consideration on the agenda for November 16, 2010.
2. **1:00 P.M.** Board Room– Call to Order.
3. Roll Call.
4. Pledge of Allegiance.
5. Approval of November 2, 2010 Zoning Commission Minutes.
6. **ZONING CASE NUMBER Z2010157 CD ERZD:** A request for a change in zoning from “C-3NA CD ERZD” General Commercial Nonalcoholic Sales Edwards Recharge Zone District with a Conditional Use for Outside Storage with Screening to “C-2 CD ERZD” Commercial Edwards Recharge Zone District with a Conditional Use for a Cabinet/Carpenter Shop on Lot 19, Block 2, NCB 17616, 13338 Western Oak Drive. (Council District 8)
7. **ZONING CASE NUMBER Z2011004 ERZD:** A request for a change in zoning from “R-6 MLOD-1” Residential Single-Family Military Lighting Overlay District and “R-6 ERZD MLOD-1” Residential Single-Family Edwards Recharge Zone Military Lighting Overlay District to “O-1.5 MLOD-1” Mid-Rise Office Military Lighting Overlay District and “O-1.5 ERZD MLOD-1” Mid-Rise Office Edwards Recharge Zone Military Lighting Overlay District on 2.243 acres out of P-26, NCB 14861 on a portion of the 6900 Block of West Hausman Road. (Council District 8)
8. **ZONING CASE NUMBER Z2010142 S:** A request for a change in zoning from “I-1 AHOD” General Industrial Airport Hazard Overlay District to “C-3 S AHOD” General Commercial Airport Hazard Overlay District with a Specific Use Authorization for a Payday Loan Agency on 0.291 of an acre out of NCB 8666, 835 Southeast Military Drive. (Council District 3)

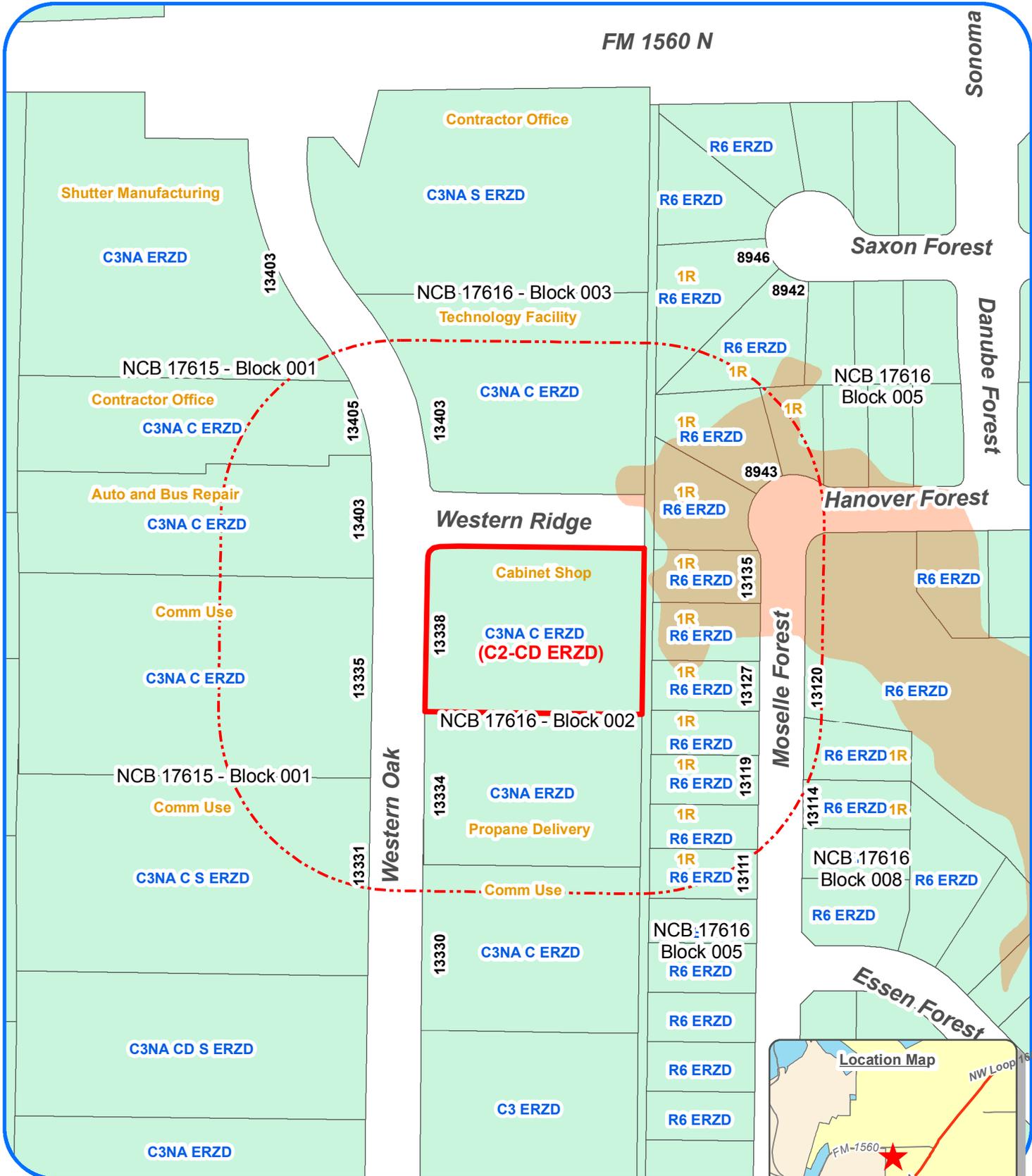
9. **ZONING CASE NUMBER Z2010150:** A request for a change in zoning from “R-4 NCD-6” Residential Single-Family Mahncke Park Neighborhood Conservation District to “MF-18 NCD-6” Multi-Family Mahncke Park Neighborhood Conservation District on Lot 13, Block 2, NCB 6090, 246 Pershing Avenue. (Council District 9)
10. **ZONING CASE NUMBER Z2010164:** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District to “MF-18 AHOD” Multi-Family Airport Hazard Overlay District on Lot 2, NCB 194, 619 Marshall Street. (Council District 1)
11. **ZONING CASE NUMBER Z2011005:** A request for a change in zoning from “I-1 RIO-1 AHOD” General Industrial River Improvement Overlay-1 Airport Hazard Overlay District to “C-2 IDZ RIO-1 AHOD” Commercial Infill Development Zone River Improvement Overlay-1 Airport Hazard Overlay District on 5.408 acres out of NCB 6294 and 6295, 2201, 2203, 2303 and 2311 Broadway. (Council District 2)
12. **ZONING CASE NUMBER Z2011007 S:** A request for a change in zoning from “R-6 MLOD” Residential Single-Family Military Lighting Overlay District to “R-6 S MLOD” Residential Single-Family Military Lighting Overlay District with a Specific Use Authorization for a licensed child care facility on Lot 60, Block 25, NCB 16770, 12322 Mapletree. (Council District 8)
13. **ZONING CASE NUMBER Z2011010:** A request for a change in zoning from multiple zoning districts to multiple zoning districts to add the Woodlawn Lake Neighborhood Conservation District-8 on multiple lots generally bound by Woodlawn Street to the north, Zarzamora Street to the east, Culebra Road to the south, and Bandera Road and St. Cloud Street to the west. (Council District 1, 7)
14. **Executive Session:** consultation on attorney-client matters (real estate, litigation, personnel and security matters) as well as any of the above agenda items may be discussed.
15. **ADJOURNMENT.**

**Accessibility Statement**

This meeting is wheelchair accessible. Accessible entrances are located at the front and side of the building at 1901 South Alamo Street. Accessible parking spaces are located at the front and rear of the building. **Auxiliary Aids and Services are available upon request (Interpreters for the Deaf must be requested forty-eight [48] hours prior to the meeting).** For Assistance, Call (210) 207-7245 Voice/TTY.

FM 1560 N

Sonoma



Cabinet Shop  
 13338  
 C3NA C ERZD  
**(C2-CD ERZD)**

### Zoning Case Notification Plan

## Case Z-2010-157 CD

Council District 8

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 17616 - Block 002 - Lot 19

#### Legend

- Subject Property ——— (1.00 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
 City of San Antonio  
 (09/15/2010 - E Hart)

# CASE NO: Z2010157 CD

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 8

**Ferguson Map:** 513 B8

**Applicant Name:**  
Trent Stein

**Owner Name:**  
Art Stein

**Zoning Request:** From "C-3NA CD ERZD" General Commercial Nonalcoholic Sales Edwards Recharge Zone District with a Conditional Use for Outside Storage with Screening to "C-2 CD ERZD" Commercial Edwards Recharge Zone District with a Conditional Use for a Cabinet/Carpenter Shop.

**Property Location:** Lot 19, Block 2, NCB 17616

13338 Western Oak Drive

Southeast corner of Western Oak Drive and Western Ridge Drive

**Proposal:** To conform the zoning with the existing land use.

**Neigh. Assoc.:** Fieldstone Homeowners Association

**Neigh. Plan:** North Sector Plan

**TIA Statement:** Traffic Impact Analysis (TIA) is not required

**Staff Recommendation:**  
Approval.

The subject property is located within the boundaries of the North Sector Plan adopted August 5, 2010. The North Sector Plan designates the Future Land Use of the subject property as Suburban Tier. A Land use component of the Suburban Tier is to allow for a range of compatible residential and non-residential uses. The zoning request of "C-2 CD ERZD" Commercial Edwards Recharge Zone District with a Conditional Use for a Cabinet/Carpenter Shop is consistent with the North Sector Plan.

The subject property is located within a business park, that has ingress/egress on Western Oak Drive and Western Ridge Drive. The one-acre tract is adjacent to "C-3NA ERZD" General Commercial Nonalcoholic Sales Edwards Recharge Zone District to the south, "C-3NA CD ERZD" General Commercial Nonalcoholic Sales Edwards Recharge Zone District with a Conditional Use for Outside Storage with Screening across Western Oak Drive to the west and across Western Ridge Drive to the north with "R-6 ERZD" Residential Single-Family Edwards Recharge Zone District to the east. A 10 foot drainage right-of-way located to the east separates the Business Park from the adjacent "R-6 ERZD" Residential Single-Family Edwards Recharge Zone District.

The applicant is requesting a "C-2 CD ERZD" Commercial Edwards Recharge Zone District with a Conditional Use for a Cabinet/Carpenter Shop to conform zoning to the existing Cabinet/Carpenter Shop on the property. A Cabinet/Carpenter Shop is identified in the Unified Development Code as a use requiring a Specific Use Authorization in the "C-3" General Commercial District to be allowed by-right. In accordance with Section 35-422, Table 422-1 of the Unified Development Code, any use allowed by-right in the "C-3" General Commercial District may be allowed as a Conditional Use in "C-2" Commercial District. Staff finds the requested zoning appropriate for the subject property due to its location and will bring the existing Cabinet/Carpenter Shop into compliance. The applicant has submitted a site plan with the required information.

# CASE NO: Z2010157 CD

## Final Staff Recommendation - Zoning Commission

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This property is located over the Edwards Aquifer Recharge Zone. As such, Development Services staff supports the SAWS recommendation that a Cabinet/Carpenter Shop at this location is appropriate.

### SAWS Summary:

1. SAWS recommends approval of the proposed land use.
2. SAWS currently identifies the subject property as a Category 1 property.
3. SAWS recommends that the impervious cover shall not exceed 61.2% on the site.

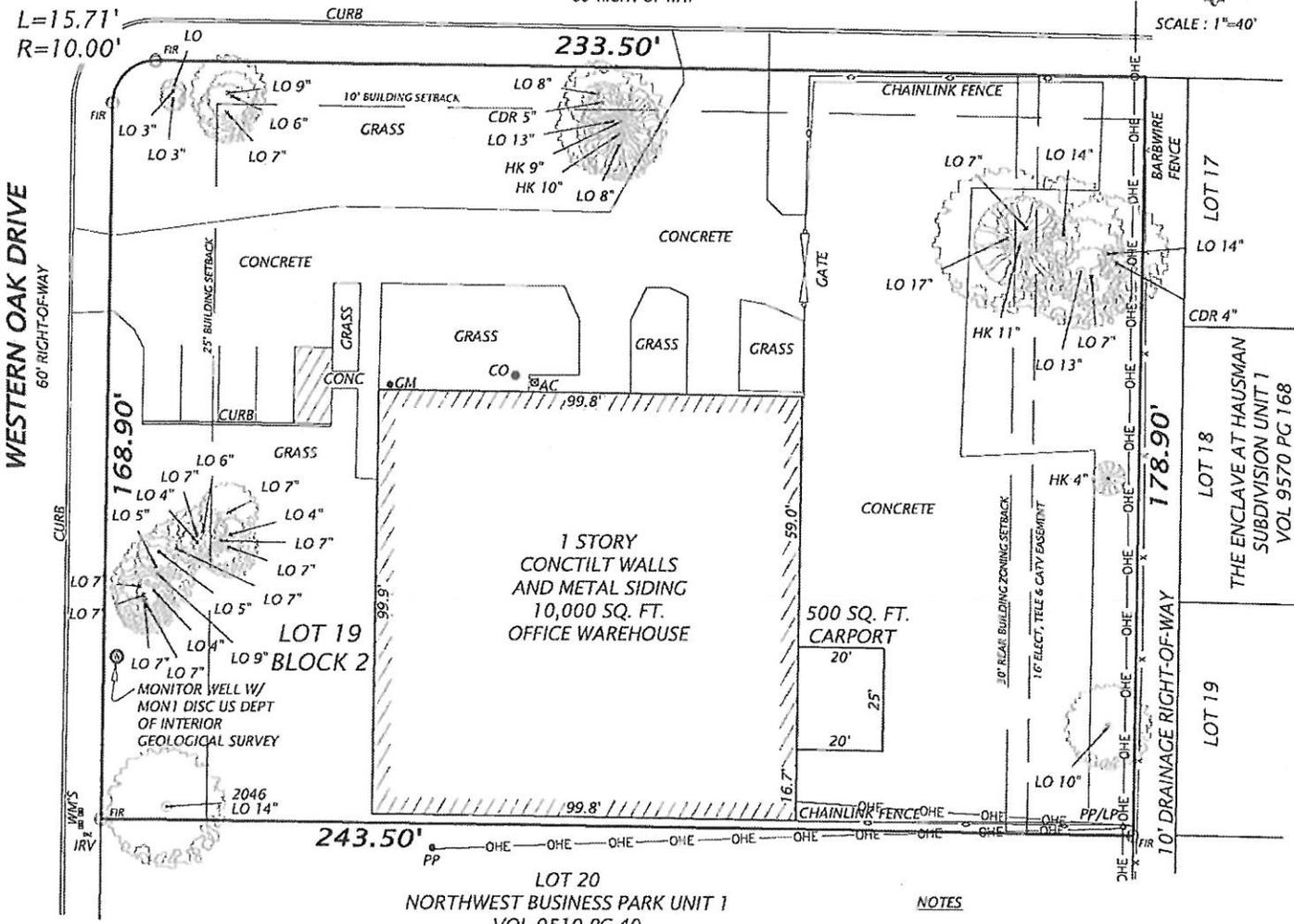
The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions. The granting of a conditional zoning classification shall not be for all of the uses permitted in a given district but shall be only for the conditional use named in the ordinance approving the conditional zoning district.

**CASE MANAGER:** Pedro Vega 207-7980



**WESTERN RIDGE**  
60' RIGHT-OF-WAY

SCALE: 1"=40'



I, ART STEIN, THE PROPERTY OWNER, ACKNOWLEDGE THAT THIS SITE PLAN SUBMITTED FOR THE PURPOSE OF REZONING THIS PROPERTY IS IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE UNIFIED DEVELOPMENT CODE. ADDITIONALLY, I UNDERSTAND THAT CITY COUNCIL APPROVAL OF A SITE PLAN IN CONJUNCTION WITH A REZONING CASE DOES NOT RELIEVE ME FROM ADHERENCE TO ANY/ALL CITY-ADOPTED CODES AT THE TIME OF PLAN SUBMITTAL FOR BUILDING PERMITS.

TOTAL LOT SIZE = 43,541 SF TOTAL  
IMPERVIOUS COVER = 26,392 SF TOTAL  
PERVIOUS COVER = 17,149 SF  
PERCENT IMPERVIOUS COVER = 60.6%

**PARKING:**  
OFFICE WAREHOUSE REQUIREMENT  
IS 1 SPACE PER 2,000 SF GFA  
10,000 SF WAREHOUSE REQUIRES 5 SPACES  
EXISTING SPACES PROVIDED = 5 · 9' X 18' STALLS  
PLUS 3 ADDITIONAL UNDER CARPORT

**SYMBOL LEGEND**

- FIR-FOUND 1/2" IRON ROD
- WM-WATER METER
- IRV-IRREGULAR VALVE
- GATE
- PP-POWER POLE
- CO-CLEAN OUT
- ⊠ AC-AIR CONDITIONER
- GM-GAS METER
- LO-LIVE OAK TREE
- HK-HACKBERRY TREE
- CDR-CEDAR TREE

**NOTES**

1. METES AND BOUNDS WERE PREPARED ALONG WITH THIS EXHIBIT.
2. THIS EXHIBIT WAS PREPARED UNDER 22TAC663.21, DOES NOT REFLECT THE RESULTS OF AN ON THE GROUND SURVEY, AND IS NOT TO BE USED TO CONVEY OR ESTABLISH INTERESTS IN REAL PROPERTY EXCEPT THOSE RIGHTS AND INTERESTS IMPLIED OR ESTABLISHED BY THE CREATION OR RECONFIGURATION OF THE BOUNDARY OF THE POLITICAL SUBDIVISION FOR WHICH IT WAS PREPARED.



TERESA A. SEIDEL  
REGISTERED PROFESSIONAL LAND SURVEYOR NO.  
5672  
PREPARED: 10/15/2010  
PROJECT NO.: 10-127

**EXHIBIT OF**  
LOT 19, BLOCK 2, NORTHWEST BUSINESS PARK OF  
RECORD IN VOLUME 9510 PAGE 40, DEED AND  
PLAT RECORDS OF BEXAR COUNTY, TEXAS.

ADDRESS: 13338 WESTERN OAKS,  
SAN ANTONIO, TX



7400 BLANCO, SUITE 260, FHO: (210) 979-6444  
SAN ANTONIO, TEXAS 78216 FAX: (210) 979-6444

REVISIONS:	ISSUE DATE:
JOB NO.: 10-127	DATE: 10/15/2010
DESIGNER: TAS	CHECKED: TAS
<b>SHEET: 1 OF 1</b>	

Date: Oct 18, 2010, 11:21am User ID: hnsdca  
 File: S:\Draws\2010\10-127\_13338\_Western\_Oaks\10-127.dwg

**SAN ANTONIO WATER SYSTEM  
Interdepartment Correspondence Sheet**

RECEIVED

10 OCT 23 PM 1:50

**To:** Zoning Commission Members

**From:** Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

**Copies To:** Scott R. Halty, Director, Resource Protection & Compliance Department, Mike Barr, Environmental Protection Specialist III, Aquifer Protection & Evaluation Section, File

**Subject:** Zoning Case Z2010157 (Cabinet Shop)

**Date:** October 27, 2010

### **SUMMARY**

A request for a change in zoning has been made for an approximate 1-acre tract located on the city's northwest side. A change in zoning from **C3 NA ERZD to C3-S ERZD** is being requested by the applicant, Trent Stein. The change in zoning has been requested to allow for a cabinet assembly shop. The property is classified as Category 1 property.

Based on the site evaluation of the property, and the information submitted by the applicant, SAWS staff recommends **approval** of the proposed land use. Should the City Council rezone the property that is the subject of this report, the San Antonio Water System recommends that any development on that property after the zoning classification has been changed should be restricted as stated in the environmental recommendations section of this report.

### **LOCATION**

The subject property is located in City Council District 8, at 13338 Western Oak Drive. The property lies within the Edwards Aquifer Recharge Zone (Figures 1 and 2).

### **SITE EVALUATION**

#### **1. Development Description:**

The proposed change is from C3 NA ERZD to C3-S ERZD and will allow for the operation of a business for a cabinet assembly shop. Currently the site is an empty warehouse facility.

2. Surrounding Land Uses:

The warehouse lies within a business park that began in the mid 1980s. The Enclave at Hausman Subdivision is located immediately east of the business park.

3. Water Pollution Abatement Plan:

The business park was constructed before Water Pollution Abatement Plans were required.

4. Geologic Conditions:

The Resource Protection Division of the San Antonio Water System conducted a site evaluation on September 21, 2010, of the referenced property to assess the geologic conditions and evaluate any environmental concerns present at the site. SAWS Environmental Geologist, Mr. Bruce Keels, P.G., was present during the site evaluation.

- A. The subject site was observed as a single lot, currently constructed and in use as a commercial business, approximately 1.0 acres in area. A single story 10,000 square foot combination office building and warehouse with surrounding parking lot, storage lot, and curbing was observed on the site.

No significant exposure of bedrock was observed throughout the property. The subject site was observed to have a moderate soil cover, several inches in thickness. One apparent parking area of gravel was observed on the north side of the subject site.

The site appeared to slope slightly to the north and northeast. Stormwater occurring on the subject site would drain to the northeast towards an unnamed tributary to French Creek.

- B. Using U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by the Cyclic and Marine Member of the Person Formation of the Edwards Aquifer.

The Cyclic and Marine Member of the Person Formation is characterized by the presence of thinly bedded mudstone, packstone and grainstone with structurally based porosity. The full section thickness of this member is approximately 80 to 90 feet thick. This could not be confirmed due to lack of exposed bedrock within the subject site.

- C. The subject site was observed to be developed for commercial use. No sensitive geologic features, such as sinkholes, caves, creeks, or faults were observed on the subject site.

## **ENVIRONMENTAL CONCERNS**

The environmental concerns associated with this development being constructed on the Edwards Aquifer Recharge Zone are:

### **General Concerns**

1. An area that lies north of the building and adjacent to a parking lot encompasses approximately 2,300 square feet of a gravel area that has been used for vehicle parking.
2. The improper use of pesticides, herbicides, or fertilizers needed for landscape maintenance that may be carried off in the first flush of stormwater run-off.
3. The build-up of hydrocarbons and other pollutants on streets, parking lots and other paved areas that are then carried off in the first flush of stormwater run-off.

## **ENVIRONMENTAL RECOMMENDATIONS**

The following recommendations address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:

### **Site Specific Recommendations**

1. The impervious cover shall not exceed 61.2% on the site. This is due to the fact that the existing building and parking lot on site is 61.2% impervious cover.
2. The property owner shall place signage at the 2,300 square foot gravel area that states there shall be no parking on the gravel area.
3. No vehicle shall be parked within the 2,300 square foot gravel area that lies at the north end and adjacent to the parking lot of the building.
4. The land uses within the zoned areas shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at that site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as prohibited, that land use will not be permitted on that site.

5. The owner of all water pollution abatement structures shall be responsible for properly maintaining the basin and that it is kept free of trash and debris. A signed water quality maintenance plan must be submitted to the Resource Protection Division of SAWS. If at any time the ownership of the property changes, the seller must disclose to the buyer all the requirements of the water quality maintenance plan. The new owner must submit a signed water quality maintenance plan to SAWS.
6. Landscaped areas shall be sensitive to minimizing water needs, i.e., use of native plants. Each purchaser of an individual lot or tenant within this development shall be informed by the seller or lessor in writing about Best Management Practices (BMP) for pesticide and fertilizer application. Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210/222-2204), or equivalent information produced by the U.S. Natural Resource Conservation Service, Texas Department of Agriculture, U.S.D.A, shall be used.
7. The applicant shall notify the Construction Compliance Section of the Resource Compliance Division of SAWS at (210) 233-3564 no later than 48 hours prior to the commencement of construction at the site. If any significant geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the SAWS at (210) 233-3526.
8. If any sensitive geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the San Antonio Water System at (210) 233-3526.

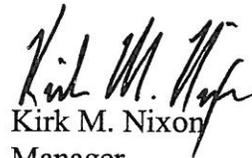
### **General Recommendations**

1. Prior to the release of any building permits the owner/operator of any Category 2 property shall submit an Aquifer Protection Plan to the Resource Protection Division of the San Antonio Water System.
2. Prior to the release of any building permits, the following shall be submitted to the SAWS Aquifer Protection & Evaluation Section of the Resource Protection Division:
  - A. A copy of the Water Pollution Abatement Plan (WPAP) shall be submitted for each particular development/use within the area being considered for re-zoning,
  - B. A set of site specific plans which must have a signed Engineers Seal from Texas,
  - C. A WPAP approval letter from the Texas Commission on Environmental Quality,

- D. A copy of the approved Water Pollution Abatement Plan.
3. The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal law.
  4. If a water quality basin is constructed on the property, the following is required:
    - A. Below grade basins shall not be allowed to be constructed on the site.
    - B. Prior to the start of the basin construction, the owner will notify San Antonio Water System at (210) 233-3526 to schedule a site inspection.
    - C. After basin construction is complete and prior to the start of business, the owner will notify the SAWS Aquifer Protection and Evaluation Section at (210) 233-3526 to schedule a site inspection. Additionally, we recommend a maintenance plan and schedule be developed and submitted to San Antonio Water System, Aquifer Protection and Evaluation Section.
    - D. If the basin fails to drain properly, the owner will notify the Construction Section of the Resource Compliance Division at (210) 233-3564 prior to any discharge of water.
    - E. If at any time the ownership of the property changes, the seller must inform the buyer of all requirements for maintenance of the Basin. A signed basin maintenance plan and schedule agreement, from the new owner, must be submitted to the SAWS.
  5. The City of San Antonio shall inspect all future construction of the sewage collection system to include service laterals and sewer mains for proper construction according to State and City Regulations and Code.
  6. The Resource Protection Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

Zoning Commission Members  
Zoning Case Z2010157 (Cabinet Shop)  
Page 6

Based on the site evaluation of the property, and the information submitted by the applicant, staff recommends **approval** of the proposed land use. Additionally, SAWS staff recommends that the applicant, or any future owner, comply with the above recommendations in regards to the development of the subject property.



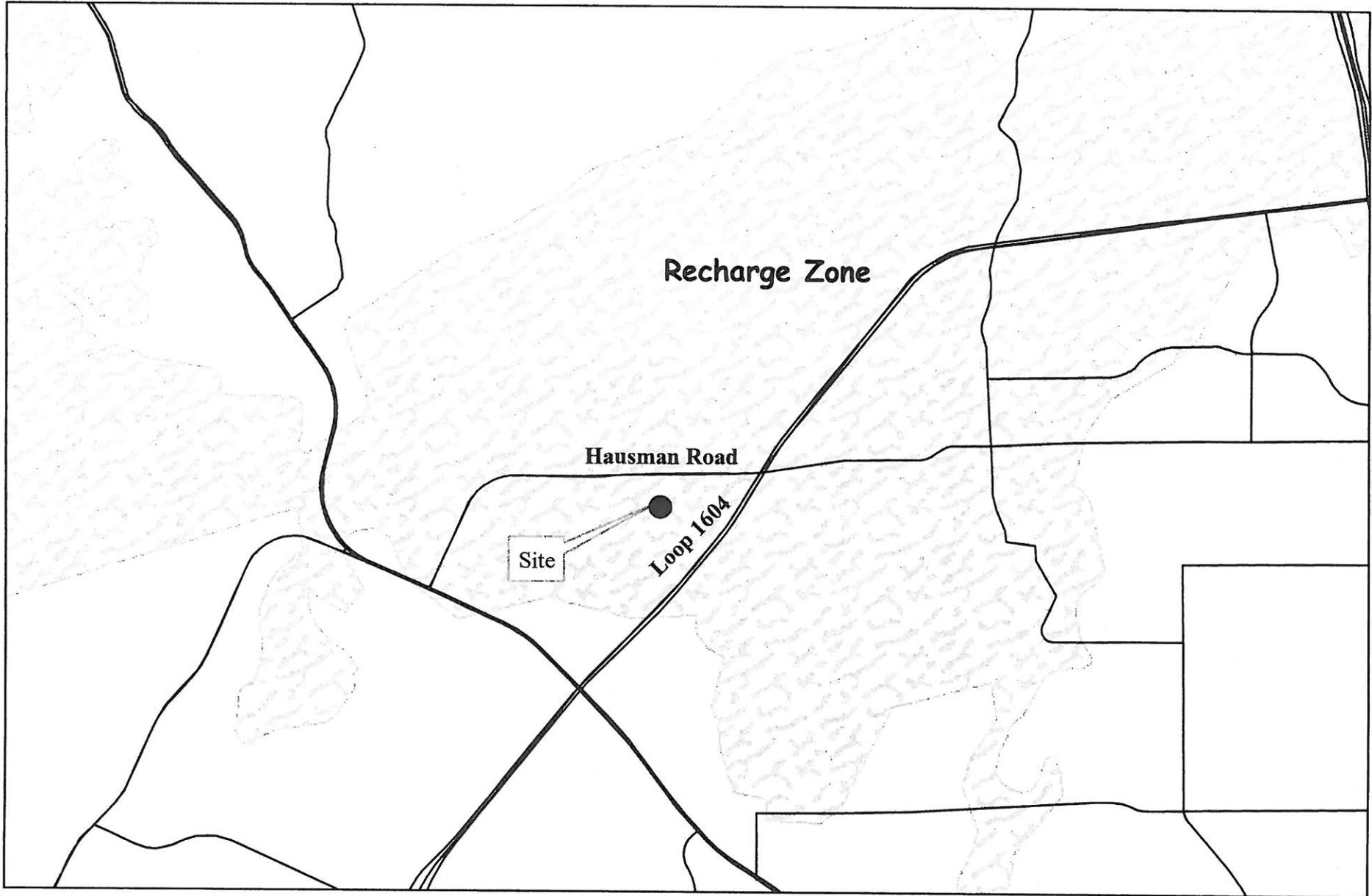
Kirk M. Nixon  
Manager  
Resource Protection Division

APPROVED:



Scott R. Halty  
Director,  
Resource Protection & Compliance Department

KMN:MJB



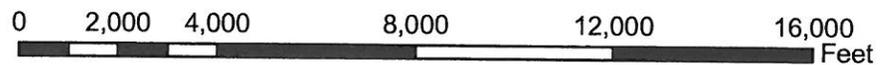
**Zoning Case No. Z2010157 Figure 1**

**Cabinet Shop**

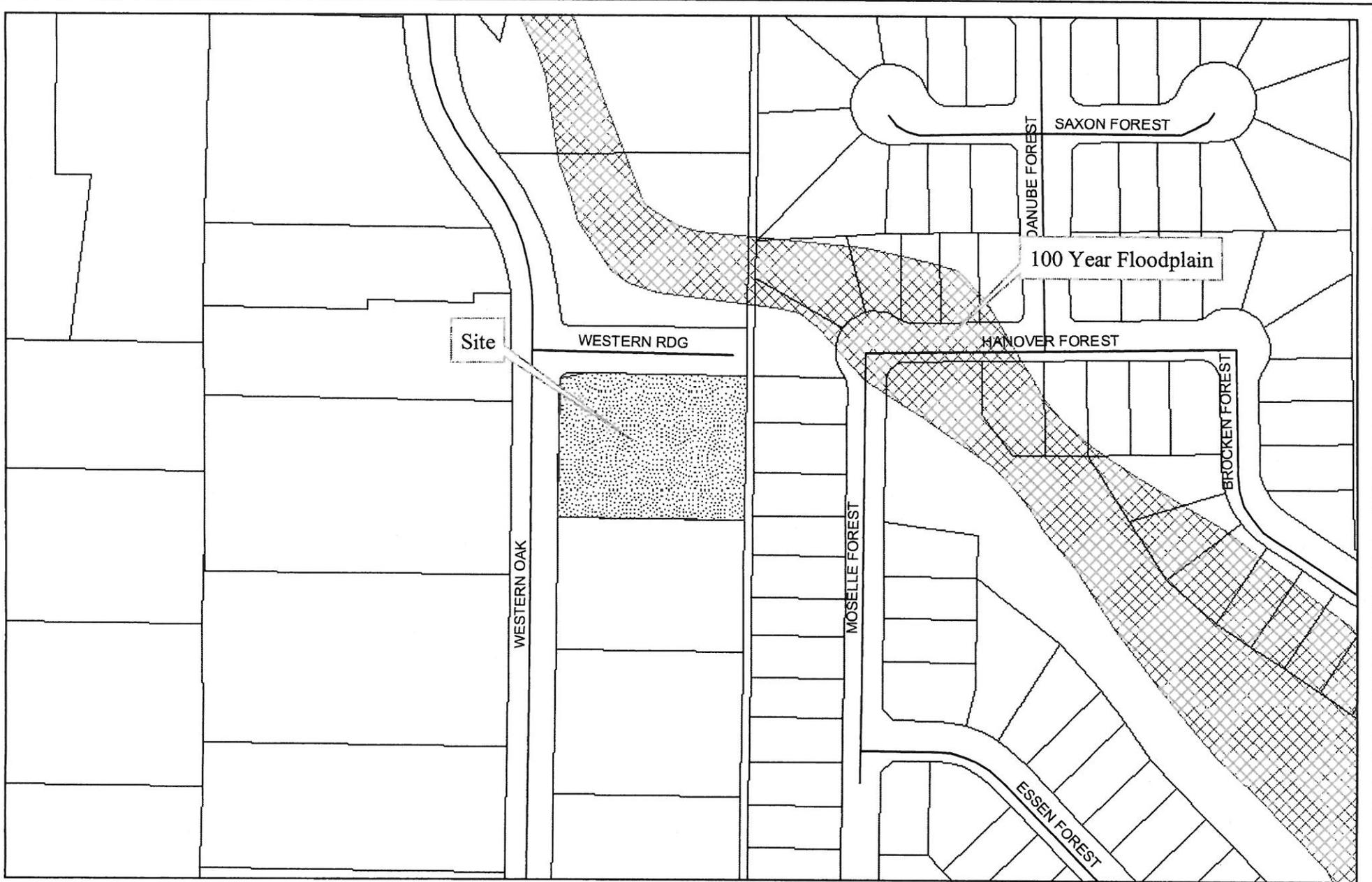
**Map Page 513 B8**

**X=2076172 Y=13754249**

Map Prepared by Aquifer Protection and Evaluation MJB 9/14/2010



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**Zoning Case No. Z2010157    Figure 2**

Cabinet Shop

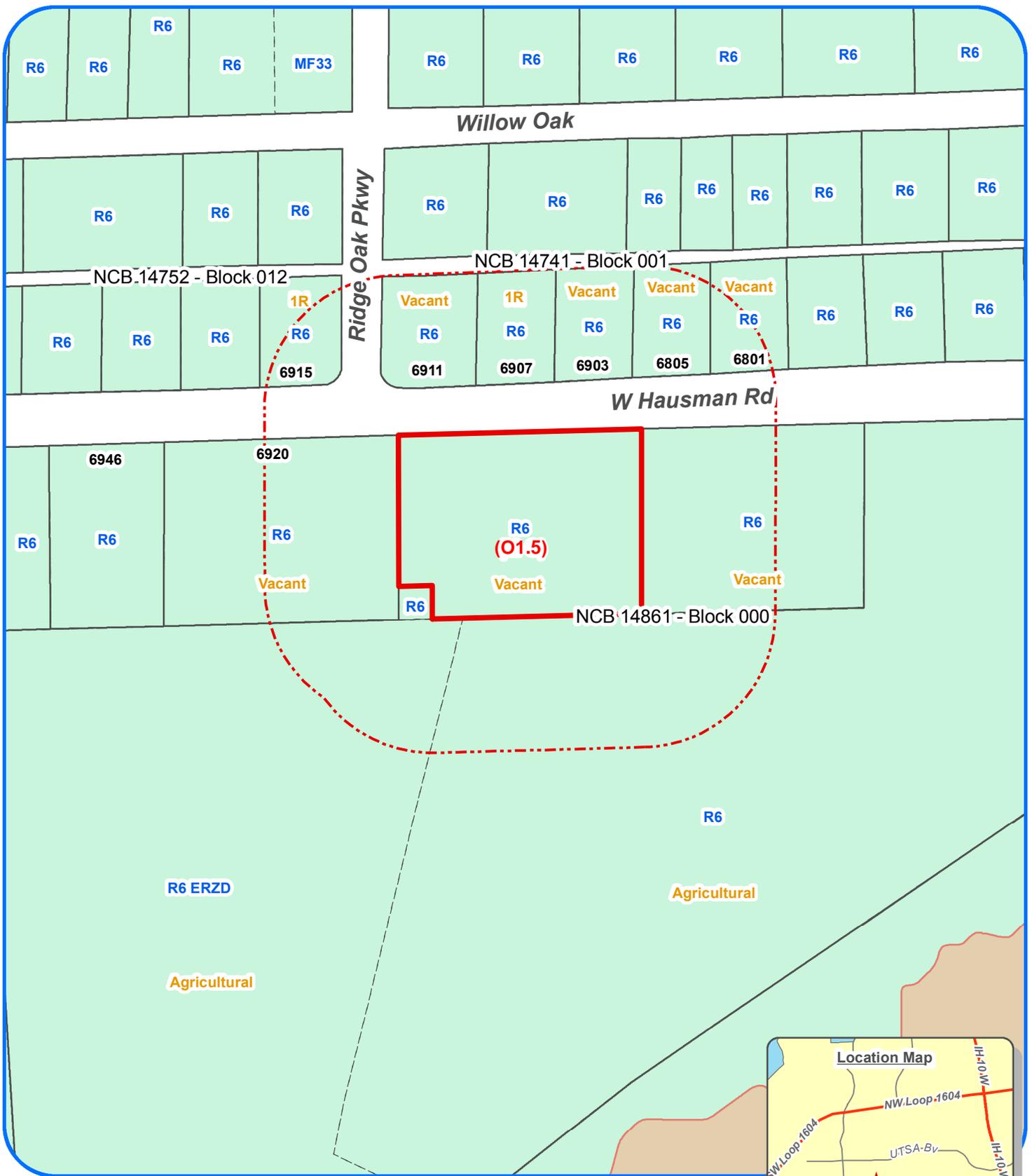
Map Page 513 B8

X=2076172 Y=13754249

Map Prepared by Aquifer Protection and Evaluation MJB 9/13/2010



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## Zoning Case Notification Plan

### Case Z2011004 ERZD

Council District 8

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): A Portion of NCB 14861 - Block 000 - Lot P-26

#### Legend

- Subject Property ——— (2.24 Acres)
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change TEXT
- 100-Year DFIRM Floodplain ———
- Single Family Residential 1R



Development Services Dept  
City of San Antonio  
(10/26/2010 - E Hart)

# CASE NO: Z2011004 ERZD

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 8

**Ferguson Map:** 513 F8

**Applicant Name:**  
Moises & Leticia Rodriguez

**Owner Name:**  
Martha J Droby, Independent Executrix of the Estate of  
Maria G Alonzo

**Zoning Request:** From "R-6 MLOD-1" Residential Single-Family Military Lighting Overlay District and "R-6 ERZD MLOD-1" Residential Single-Family Edwards Recharge Zone Military Lighting Overlay District to "O-1.5 MLOD-1" Mid-Rise Office Military Lighting Overlay District and "O-1.5 ERZD MLOD-1" Mid-Rise Office Edwards Recharge Zone Military Lighting Overlay District.

**Property Location:** 2.243 acres out of P-26, NCB 14861

A portion of the 6900 Block of West Hausman Road

On the south side of West Hausman Road, at Ridge Oak Parkway

**Proposal:** To allow medical offices

**Neigh. Assoc.:** Maverick Creek Homeowners Association is the nearest registered association.

**Neigh. Plan:** North Sector Plan

**TIA Statement:** A Traffic Impact Analysis is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

### **Staff Recommendation:**

The North Sector Plan identifies the subject property as being within the "Suburban Tier" which includes a range of use classifications from low density residential to community commercial uses. Therefore, both the existing and requested zoning districts are consistent with the plan.

Denial.

The subject property consists of 2.243 acres of undeveloped land, out at a 2.5-acre parcel. The remaining portion (the southwest corner) of the property is currently developed as a wireless communication tower. The property was annexed in 1971, per Ordinance 39169, and was originally zoned "Temp R-1" Temporary Single Family Residence District. Upon the adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "R-6" Residential Single-Family District. Surrounding zoning includes "R-6" Residential Single-Family District in all directions. Surrounding land uses include single-family homes, undeveloped land, and agricultural uses. The applicant requests "O-1.5" Mid-Rise Office District to allow development of medical offices.

Staff finds the requested zoning inappropriate for the subject property as it is entirely surrounded by single-family residential zoning. Although significant amounts of land in the area remain undeveloped, all of the existing surrounding uses are low-density residential or agricultural in character. West Hausman Road is identified as a Secondary Arterial "Type A" roadway in the City's Major Thoroughfare Plan; and as such would normally be an appropriate location for low-intensity commercial development. However, the subject property is not located at a major intersection, and is encompassed by substantial flood plain areas. Therefore, staff does not support the properties along the south side of Hausman Road transitioning to commercial development.

# CASE NO: Z2011004 ERZD

## Final Staff Recommendation - Zoning Commission

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Additionally, the "O-1.5" Mid-Rise Office District is meant to accommodate office building up to five stories tall and of unlimited size. The uses and construction being proposed by the applicant can reasonably be supported by the "O-1" Office District, which would also provide for additional development standards limiting the potential impact of development on surrounding residential uses.

**CASE MANAGER:** Micah Diaz 207-5876

**SAN ANTONIO WATER SYSTEM**  
**Interdepartment Correspondence Sheet**

**To:** Zoning Commission Members

**From:** Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

**Copies To:** Scott R. Halty, Director, Resource Protection & Compliance Department, Gregory James, P.G., Bruce Keels, Environmental Geologist, Aquifer Protection & Evaluation Section, File

**Subject:** Zoning Case Z2011004 (7022 W. Hausman Road)

**Date:** October 22, 2010

**SUMMARY**

A request for a change in zoning has been made for an approximate 2.3-acre tract located on the city's north west side. A change in zoning from "**R-6**" Residential ERZD to "**O-1.5**" Mid-rise Office ERZD is being requested by the applicant the City of San Antonio's Planning & Development Services Department. The change in zoning has been requested to allow for development of a psychological therapist office.

Currently, the subject site is undeveloped property with an automated cell phone tower. The property is located at 7022 W. Hausman Road inside Loop 1604 which is approximately 2.3 acres. Only a very small portion of the site containing the access road to the cell phone tower is located within the Edwards Recharge Zone. A historic grave site was observed within the area outside of the Edwards Recharge Zone. Additionally, the proposed zoning will not increase the impervious cover within the Edwards Recharge Zone, as that area is already occupied by the access road to the cell phone tower.

According to the U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by the Upper Confining Unit Undivided of the Edwards Aquifer. The Undivided Upper Confining Unit is characterized by the presence of massive limestone with very low porosity and permeability throughout the formation. The full section thickness of this member is approximately 30 feet thick. This could not be confirmed due to a lack of bedrock exposure on the subject site. The subject property is located in City Council District 8, on 7022 W. Hausman Road, approximately 1/2 mile east of Babcock Road. The property lies partially within the Edwards Aquifer Recharge Zone (Figures 1 and 2).

Zoning Commission Members  
Z2011044 (7022 W. Hausman Road)  
Page 2

Based on the information submitted by the applicant, SAWS staff does not object to the office rezoning, as this will not affect the water quality. Should the San Antonio City Council rezone the property that is the subject of this report, the San Antonio Water System recommends that any proposed development on that property after the zoning classification has been changed should be reviewed by all applicable agencies.



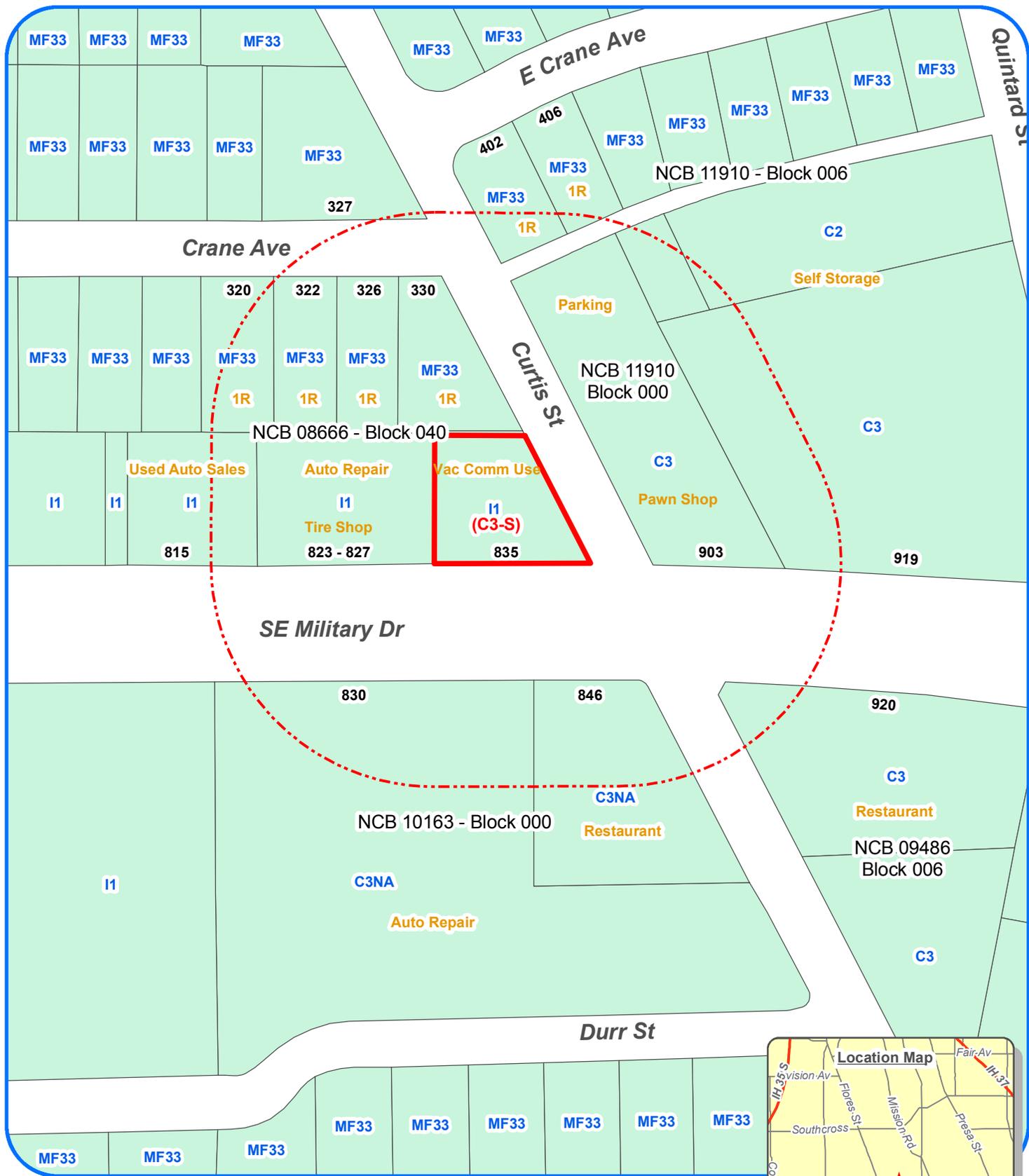
Kirk M. Nixon  
Manager  
Resource Protection Division

APPROVED:



Scott R. Halty  
Director,  
Resource Protection & Compliance Department

KMN:BVK



## Zoning Case Notification Plan

### Case Z-2010-142 S

Council District 3

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): 0.291 of an acre out of NCB 08666

#### Legend

- Subject Property (0.291 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
City of San Antonio  
(08/19/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2010142 S

## Final Staff Recommendation - Zoning Commission

---

**Date:** November 16, 2010

Continuance (applicant's request) from September 7, 2010 and October 5, 2010

**Council District:** 3

**Ferguson Map:** 650 F7

**Applicant Name:**

Jason Dixon, Managing Member, GD Bar, LLC

**Owner Name:**

GD Bar LLC, General Partner, GB Bar FLP

**Zoning Request:** From "I-1 AHOD" General Industrial Airport Hazard Overlay District to "C-3 S AHOD" General Commercial Airport Hazard Overlay District with a Specific Use Authorization for a Payday Loan Agency.

**Property Location:** 0.291 of an acre out of NCB 8666

835 Southeast Military Drive

On the northwest corner of SE Military Drive and Curtis Street.

**Proposal:** To allow a Payday Loan Agency.

**Neigh. Assoc.:** Mission San Jose Neighborhood Association; Harlandale Park Neighborhood Association is within 200 feet (Registration Unconfirmed).

**Neigh. Plan:** South Central San Antonio Community Plan

**TIA Statement:** A Traffic Impact Analysis is not required.

**Staff Recommendation:**

Approval.

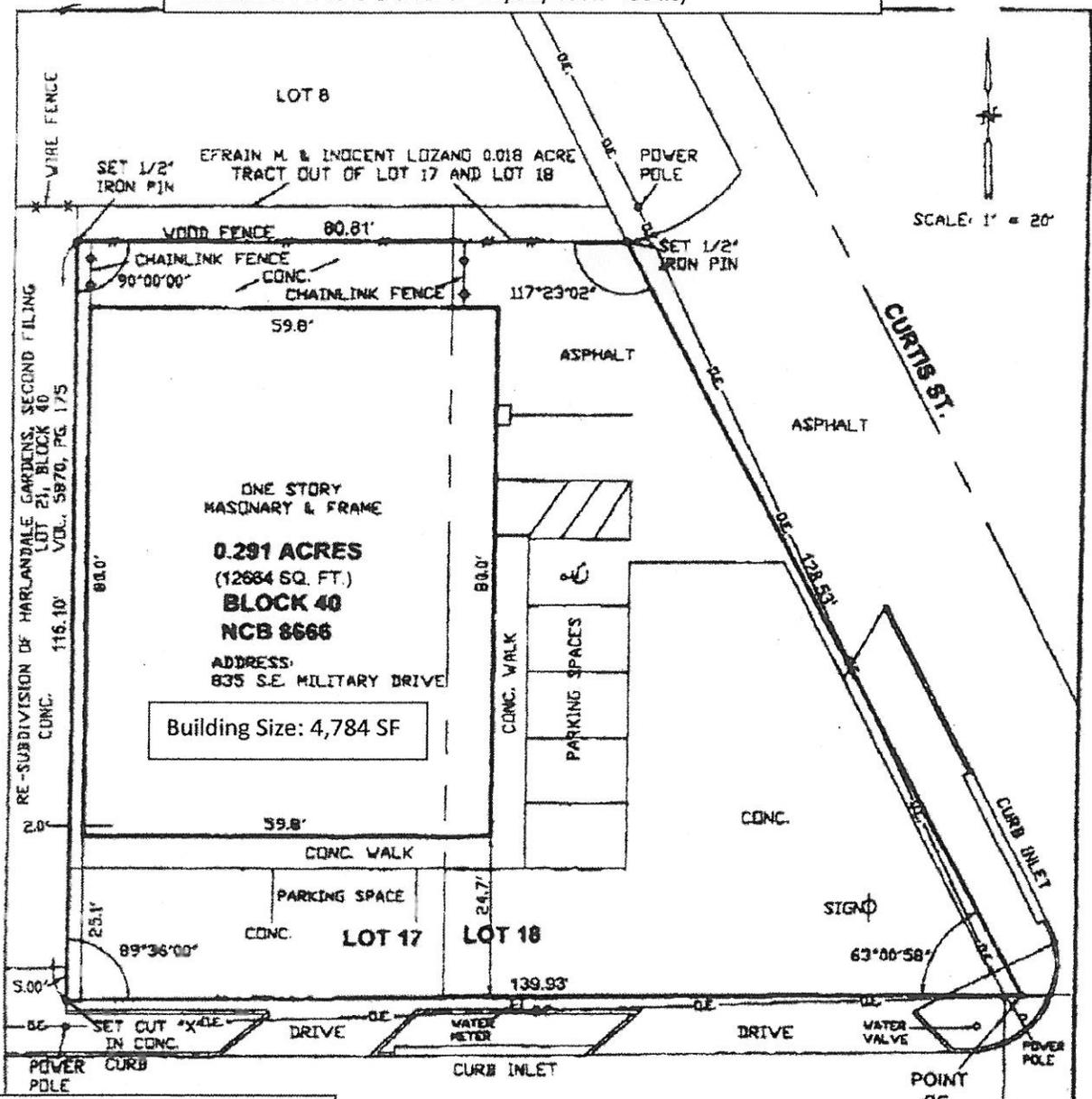
The subject property is occupied by a vacant commercial structure that measures approximately 4,800 square feet with ingress/egress on Southeast Military Drive (a Primary Arterial "Type A" street). The property is adjacent to "I-1" zoning to the west, "C-3" zoning to the east and south and "MF-33" zoning to the north. The surrounding land uses consist of a pawn shop to the east, residential dwellings to the north, a tire shop, auto repair facility and auto sales to the west and a restaurant and auto repair facility to the south.

The applicant is requesting a zoning change to allow a payday loan agency, which requires a Specific Use Authorization in "C-3" zoning districts. Staff finds the request for a Specific Use Authorization to be appropriate given the subject property's location. The property is located on an arterial thoroughfare which has long been developed as a commercial corridor. The prevalence of commercial zoning and uses to the south, east and west indicates the proposed zoning district and use of the property would be consistent with the current development pattern along this portion of Southeast Military Drive. Further, the subject property is located within the South Central San Antonio Community Plan. The requested zoning district is consistent with the Future Land Use designation of Regional Commercial.

The purpose of the Specific Use Authorization is to provide for certain uses which, because of their unique characteristics or potential impacts on adjacent land uses, are not generally permitted in certain zoning districts as a matter of right, but which may, under the right set of circumstances and conditions be acceptable in certain specific locations.

**CASE MANAGER:** Brenda Valadez 207-7945

Z2010142 I-1 to C-3 S for a "Payday Loan" facility



Total Parking Spaces: 10  
 ADA Spaces: 1  
 Parking Space Dimension: 9'x18'

Paved Surface Area: 7,880 SF

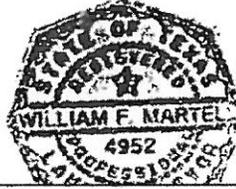
Zoning Change Request: From I-1 to C-3 S

REFERENCES:  
 VOLUME 980, PAGE 423

**SURVEY PLAT OF:**  
 A 0.291 ACRE, (12664 SQ. FT.) TRACT BEING THE REMAINING PORTION OF LOT 17 AND LOT 18, BLOCK 40, N.C.B. 8666, HARLANDALE GARDENS, SECOND FILING RECORDED IN VOLUME 980, PAGE 423, DEED AND PLAT RECORDS, BEXAR COUNTY, TEXAS.

NO PORTION OF SUBJECT PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA, ZONE A, 100-YEAR FLOOD BOUNDARY, AND SUBJECT PROPERTY IS LOCATED IN ZONE X BEING OUTSIDE OF THE 500 YEAR FLOOD PLAIN AS DEFINED BY FLOOD INSURANCE RATE MAP FOR BEXAR COUNTY, TEXAS ON MAP NUMBER 4822C0626 E, EFFECTIVE DATE FEBRUARY 16, 1996, AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

STATE OF TEXAS  
 COUNTY OF BEXAR  
 I HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT ACCORDING TO AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS OF BUILDINGS ON ADJOINING PROPERTY AND THAT ALL BUILDINGS ARE WHOLLY LOCATED ON THIS PROPERTY EXCEPT AS SHOWN ABOVE.



*John Ryan* the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City adopted codes at the time of plan submittal for building permits.



**Zoning Case Notification Plan**

**Case Z-2010-150**

Council District 9

Scale: 1" approx. = 100 Feet

Subject Property Legal Description(s): NCB 06090 - Block 002 - Lot 13

**Legend**

- Subject Property (0.1389 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Planning & Development Services Dept  
City of San Antonio  
(08/31/2010 - E Hart)

# CASE NO: Z2010150

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

Continuance (applicant's request) from September 21, 2010

**Council District:** 9

**Ferguson Map:** 583 C8

**Applicant Name:**  
Susan M. Hubbard

**Owner Name:**  
Susan M. Hubbard

**Zoning Request:** From "R-4 NCD-6" Residential Single-Family Mahncke Park Neighborhood Conservation District to "MF-18 NCD-6" Multi-Family Mahncke Park Neighborhood Conservation District.

**Property Location:** Lot 13, Block 2, NCB 6090

246 Pershing Avenue

On the southwest corner of Pershing Avenue and Northview Street

**Proposal:** To bring two detached dwelling units into compliance

**Neigh. Assoc.:** Mahncke Park Neighborhood Association

**Neigh. Plan:** Mahncke Park Neighborhood Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**  
Denial.

The Mahncke Park Neighborhood Plan designates the Future Land Use of the subject property as Urban Single-Family Residential. The zoning request of "MF-18 NCD-6" Multi-Family Mahncke Park Neighborhood Conservation District is inconsistent with the Mahncke Park Neighborhood Plan.

The subject property, located on the southwest corner of Pershing Avenue and Northview Street, consists of two detached dwelling units on 0.1389 of an acre. The structures were originally built in 1928 (square footage 575.0) and 1947 (square footage 1205.0) and measure approximately 1,780 square feet total. The rear dwelling unit has been a single-family rental unit. The subject property was originally zoned "B" Residence District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "R-4" Residential Single-Family District. Surrounding zoning includes "R-4 NCD-6" Residential Single-Family Mahncke Park Neighborhood Conservation District to the west, south, across Pershing Avenue to the north and across Northview Street to the east. Surrounding land uses include mainly single-family dwellings, with a small number of duplexes, guest houses and cottages scattered throughout the neighborhood. The applicant is seeking a zoning change to "MF-18 NCD-6" Multi-Family Mahncke Park Neighborhood Conservation District to bring two existing detached single-family dwelling into compliance with the UDC.

Because of UDC standards not being met, the second structure must be classified as a second dwelling unit and is therefore not permitted in the existing single-family residential zoning district. The least intense residential zoning district that can accommodate both dwellings on the subject property is the "MF-18" district. Although, with this multi-family district the subject property would be limited to a maximum of two units, the "MF-18 NCD-6" Multi-Family Mahncke Park Neighborhood Conservation District would continue to be at odds with the density patterns within the surrounding neighborhood as well as the density advocated by the Mahncke Park Neighborhood Plan. The Neighborhood Plan includes language supporting maintaining the neighborhood's historical pattern of single-family structures with one accessory dwelling (such as a granny-flat or garage apartment).

**CASE MANAGER:** Pedro Vega 207-7980



**Zoning Case Notification Plan**

**Case Z-2010-164**

Council District 1  
 Scale: 1" approx. = 100 Feet  
 Subject Property Legal Description(s): NCB 00194 - Block 000 - Lot 2

**Legend**

- Subject Property (Red solid line)
- 200' Notification Area (Red dashed line)
- Current Zoning (Blue text)
- Requested Zoning Change (Red text)
- 100-Year DFIRM Floodplain (Orange shaded area)
- Single Family Residential (1R)
- (0.15 Acres)



Development Services Dept  
 City of San Antonio  
 (11/03/2010 - E Hart)

**Note: All Current and Requested Zoning includes MLOD Zoning (Military Lighting Overlay District).**

# CASE NO: Z2010164

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 1

**Ferguson Map:** 616 D3

**Applicant Name:**  
Chris Kurzan

**Owner Name:**  
Crosstimmer, LLC

**Zoning Request:** From "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District to "MF-18 AHOD " Multi-Family Airport Hazard Overlay District.

**Property Location:** Lot 2, NCB 194

619 Marshall Street

On the northside of Marshall Street, southwest of North Flores Street

**Proposal:** To allow for a Two-Family Dwelling

**Neigh. Assoc.:** Five Points Neighborhood Association (Unconfirmed)

**Neigh. Plan:** Five Points Neighborhood Plan

**TIA Statement:** Traffic Impact Analysis (TIA) is not required

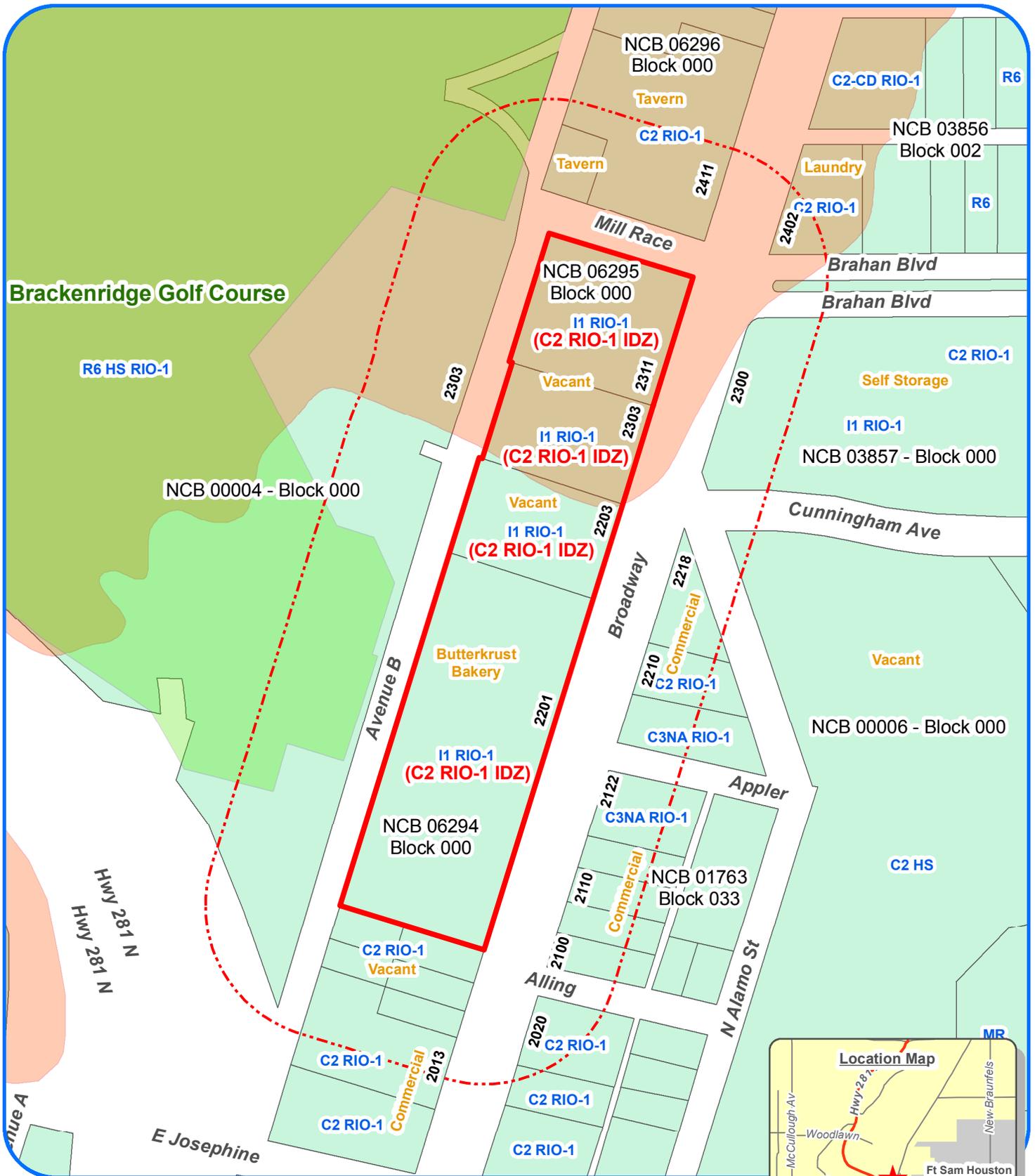
**Staff Recommendation:**

Approval, pending plan amendment.

The zoning request of "MF-18 AHOD" Multi-Family Airport Hazard Overlay District is inconsistent with the Five Points Neighborhood Plan. The Five Points Neighborhood Plan designates the Future Land Use of the subject property as Low-Density Residential. Low-Density Residential includes single-family homes on individual lots. A limited number of duplexes and granny flats or garage apartments may also be permitted. A plan amendment is required in order to establish the "MF-18 AHOD" Multi-Family Airport Hazard Overlay District. The applicant has submitted a Master Plan Amendment to Medium Density Residential that was considered and approved by the Planning Commission on November 10, 2010. Should the Plan Amendment be approved, staff would support the requested "MF-18 AHOD" Multi-Family Airport Hazard Overlay District. Medium Density Residential land uses includes, duplexes, triplexes, quadplexes, townhomes, and apartment buildings up to eighteen residential units per acre on single lots, as well as uses allowed in the Low-Density Residential land uses classification. Due to the size of the lot a maximum of two units would be permitted.

The subject property is located north of Downtown, on the northside of Marshall Street, southwest of North Flores Street. The subject property was annexed in 1938 and totals approximately 0.1504 acres. There is an existing two story single-family dwelling on the subject property. The existing structure, measuring approximately 2,112 square feet, was built in 1905. The property was zoned "J" Commercial District at annexation. Upon adoption of the 2001 Unified Development Code, the "J" Commercial District converted to "I-1 AHOD" General Industrial Airport Hazard Overlay District. In April of 2003, the 0.1504 acre site was part of a large-area rezoning and was granted a zoning change from "I-1 AHOD" General Industrial Airport Hazard Overlay District to "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District. Surrounding zoning includes "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District to the west and across Marshall Street to the south with "IDZ AHOD" Infill Development Zone River Improvement Overlay-1 Airport Hazard Overlay District to the east and north. The existing two-family dwelling is comparable to neighboring properties along Marshall Street. There are existing multi-family structures located at 708, 718, 721, and 724 Marshall Street.

**CASE MANAGER:** Pedro Vega 207-7980



## Zoning Case Notification Plan

### Case Z-2011-005

Council District 2

Scale: 1" approx. = 200 Feet

Subject Property Legal Description(s): NCB 06294 - Block 000 - Lots 15 thru 40, S 46.06 ft of Lot 41, 41A, 42, and NCB 06295 - Block 000 - Lots 47 thru 54

#### Legend

- Subject Property (5.408 Acres)
- 200' Notification Area
- Current Zoning
- Requested Zoning Change
- 100-Year DFIRM Floodplain
- Single Family Residential
- 1R



Development Services Dept  
City of San Antonio  
(10/26/2010 - E Hart)

**Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).**

# CASE NO: Z2011005

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 2

**Ferguson Map:** 617 A2

**Applicant Name:**  
Kaufman & Killen, Inc.

**Owner Name:**  
Guenther Development, LLC

**Zoning Request:** From "I-1 RIO-1 AHOD" General Industrial River Improvement Overlay-1 Airport Hazard Overlay District to "C-2 IDZ RIO-1 AHOD" Commercial Infill Development Zone River Improvement Overlay-1 Airport Hazard Overlay District.

**Property Location:** 5.408 acres out of NCB 6294 and 6295

2201, 2203, 2303 and 2311 Broadway

Along the west side of Broadway, south of Mill Race

**Proposal:** To allow office uses

**Neigh. Assoc.:** Westfort Alliance Neighborhood Association is within 200 feet.

**Neigh. Plan:** Westfort Alliance Neighborhood Plan

**TIA Statement:** The Traffic Impact Analysis (TIA) requirement is waived for Infill Development Zone requests.

**Staff Recommendation:**

The Future Land Use section of the Westfort Alliance Neighborhood Plan identifies the subject property as "Mixed Use". The requested zoning and proposed reuse of the existing industrial structure is consistent with the neighborhood plan.

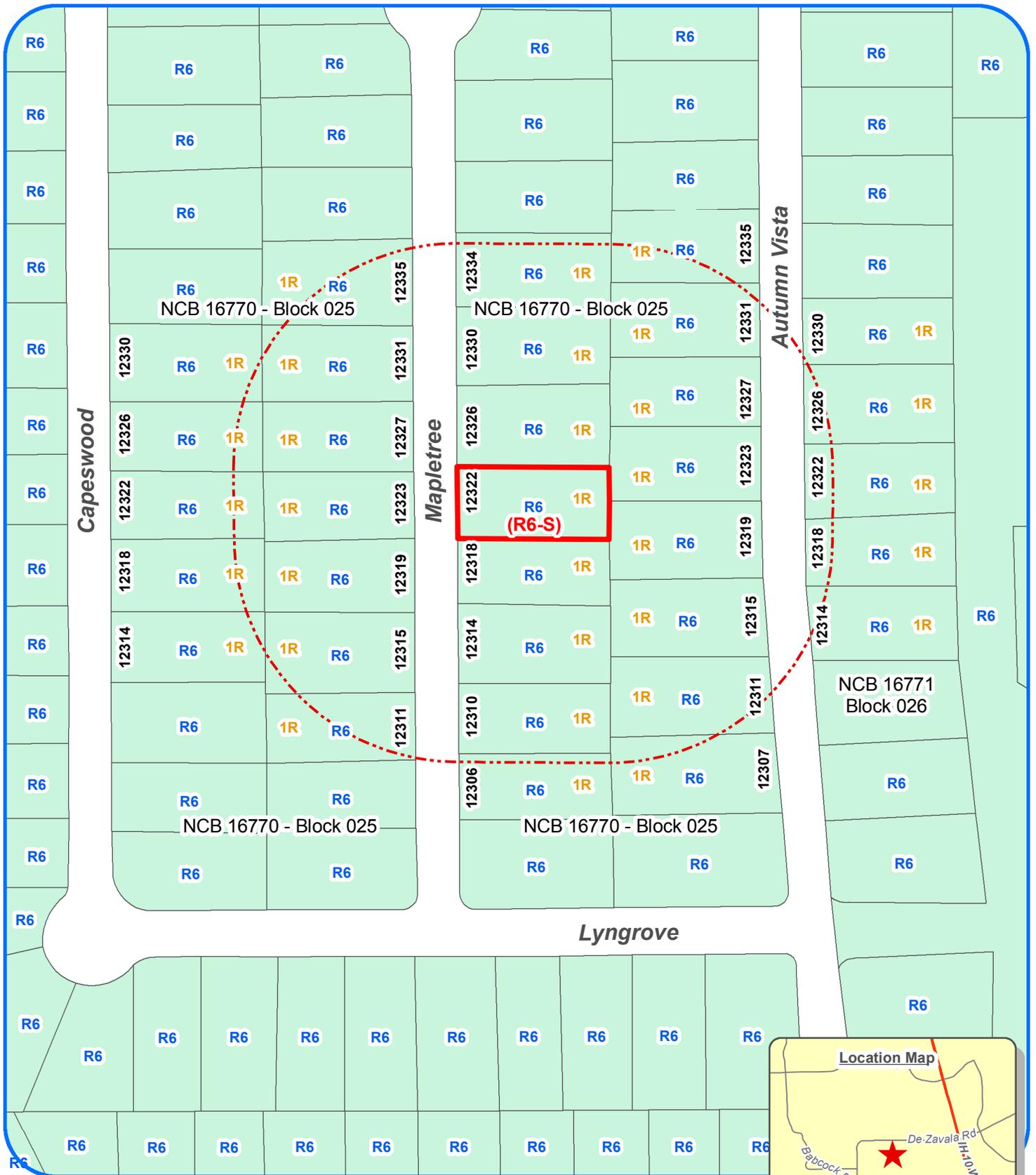
Approval.

The subject property consists of 4 parcels totaling 5.408 acres in size. One parcel is developed as an industrial bakery, formerly the Butter Krust Bakery, that was constructed in 1940 and measures over 115,000 square feet in size (including office and warehouse space). The property has been vacant since 1997. The property is located within the City Limits as recognized in 1938, and was originally zoned "J" Commercial District. Upon the adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "I-1" General Industrial District. The "RIO-1" River Improvement Overlay District-1 was applied to the subject property in August 2002, per Ordinance 96154. Surrounding zoning includes "R-6" Residential Single-Family District to the west; "C-2" to the north and south; with a mix of commercial and industrial districts to the east. Surrounding land uses include a golf-course to the west; taverns and a laundromat to the north; self storage, restaurants and catering, car rental, and an employment agency to the east; with vacant properties and furniture wholesale to the south. The applicant requests "C-2 IDZ RIO-1 AHOD" Commercial Infill Development Zone River Improvement Overlay-1 Airport Hazard Overlay District to allow the existing industrial building to be converted to office uses.

Staff finds the requested zoning appropriate for the subject property due to the approved neighborhood plan and the pattern of development along Broadway. The Westfort Alliance Neighborhood Plan encourages the redevelopment of retail and service uses along the Broadway corridor. Currently, much of Broadway is developed with a range of commercial uses; however, the corridor includes significant parcels that are undeveloped or vacant and carry overly-intense industrial zoning. The existing industrial zoning district limits the range of permitted uses to those such as wholesale and light manufacturing. Additionally, the "RIO-1" overlay district restricts a number of industrial uses that are considered inappropriate for properties in close proximity to the San Antonio River. Thus, the subject property is not well-suited for industrial uses. If approved, the requested zoning would constitute a beneficial down-zoning, allowing the adaptive reuse of the prominent art-deco style industrial building that formerly housed the Butter Krust bakery.

**CASE MANAGER:** Micah Diaz 207-5876





## Zoning Case Notification Plan

### Case Z-2011-007 S

Council District 8

Scale: 1" approx. = 120 Feet

Subject Property Legal Description(s): NCB 16770 - Block 025 - Lot 60

#### Legend

- Subject Property (0.191 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept  
City of San Antonio  
(10/28/2010 - E Hart)

**Note: All Current and Requested Zoning includes MLOD Zoning (Military Lighting Overlay District).**

# CASE NO: Z2011007 S

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 8

**Ferguson Map:** 548 C1

**Applicant Name:**  
Lydia M. Doumenz

**Owner Name:**  
Lydia M. Doumenz

**Zoning Request:** From "R-6 MLOD" Residential Single-Family Military Lighting Overlay District to "R-6 S MLOD" Residential Single-Family Military Lighting Overlay District with a Specific Use Authorization for a licensed child care facility.

**Property Location:** Lot 60, Block 25, NCB 16770

12322 Mapletree

On the east side of Mapletree, north of Lyngrove.

**Proposal:** To allow a licensed child care facility.

**Neigh. Assoc.:** Tanglewood Resident's Association

**Neigh. Plan:** North Sector Plan

**TIA Statement:** A Traffic Impact Analysis is not required.

**Staff Recommendation:**  
Approval, with conditions.

The subject property is approximately 0.19 of an acre, and is currently used as a single-family residence within the Tanglewood residential subdivision. The existing structure measures approximately 1,887 square feet and was built in 1978. The subject property is adjacent to "R-6" zoning in all directions.

The UDC allows small, in-home childcare facilities in residential zoning districts with a Specific Use Authorization the following stipulations shall apply:

- (a) All childcare facilities shall have a current license issued by the Texas Department of Human Resources.
- (b) Childcare facilities shall comply with the following conditions when allowed in residential zoning districts:
  - (1) Outdoor play space shall not be permitted within the front yard area.
  - (2) No signs shall be permitted except for a name plate not exceeding one (1) square foot in size and attached flat to the main structure.
- (c) The outdoor play space for childcare facilities which abut or are located within a residential zoning district shall be enclosed by a six-foot tall solid (opaque) fence.
- (d) The provision of a childcare facility in a single-family home which may be permitted by a specific use authorization shall require that the owner of the property in question occupy as their primary residence the home providing said day care services.

Staff finds the requested Specific Use Authorization to be appropriate given the proposal's limited size and scope. A Licensed Child Care home is limited to no more than 12 children, as defined by the State of Texas. The applicant has obtained the required licensing from the State, and is currently operating as a Registered Family Home. Staff believes that this rezoning request, if approved, would not constitute commercial encroachment into a residential area, as the property will continue to function as a residence. Additionally, expansion of the childcare facility beyond the area shown on the site plan or to accommodate more than 12 children will require additional rezoning.

# CASE NO: Z2011007 S

## Final Staff Recommendation - Zoning Commission

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Staff does not foresee a significant increase in traffic. The subject property includes a two-car garage plus a two-car driveway with additional on-street parking available. The short-term nature of drop-off and pick-up, along with likely staggered arrival times, should minimize the impact of any increase in traffic. The child car facility could also serve the residents of the neighborhood with in which it is located.

In addition to the requirements listed above, the following conditions shall apply to the operation of nonresidential conditional uses permitted within any residential district, unless otherwise approved by City Council:

1. There shall be no exterior display or sign with the exception that a nameplate, not exceeding one (1) square feet in area, may be permitted when attached to the front of the main structure.
2. No construction features shall be permitted which would place the structure out of character with the surrounding neighborhood.
3. Business or office hours of operations shall not be permitted before 7:00 a.m. or after 6:00 p.m., Monday through Friday; closed Saturday and Sunday

The subject property is located within the North Sector Plan. The requested zoning district is consistent with the Future Land Use designation of Suburban Tier. Further, the subject property is also located within the Camp Bullis Awareness Zone/Military Influence Area. In accordance with the signed Memorandum of Understanding between Fort Sam Houston and the City of San Antonio, the Garrison Commander did not review the zoning request because the tract is smaller than 10 acres and is not immediately adjacent to Camp Bullis.

**CASE MANAGER:** Brenda Valadez 207-7945

Z2011007

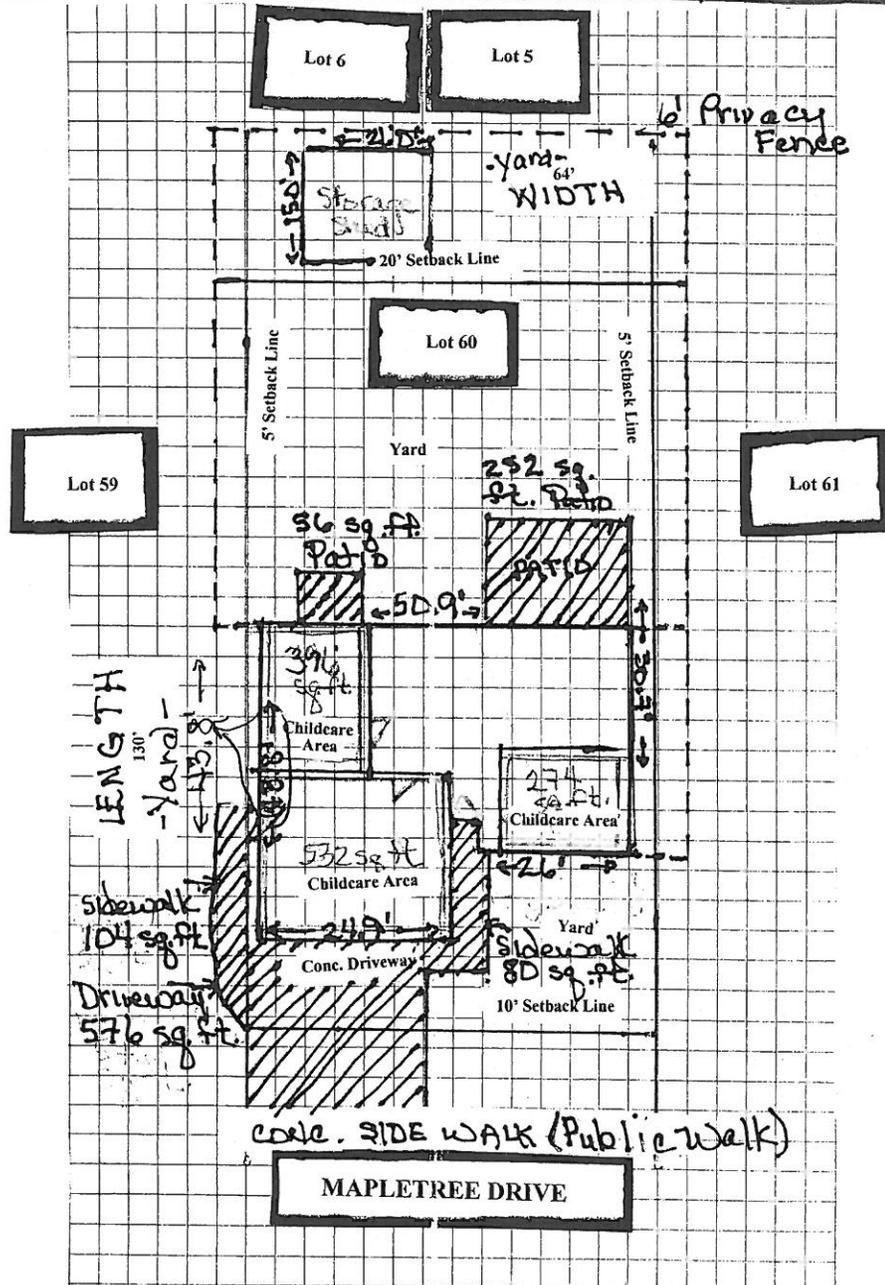
Lot 60 Block 25 N.B.C. 18770  
BABCOCK PLACE SUBDIVISION, UNIT 17 Volume 8100 Page 217  
OF THE DEED AND PLAT RECORDS OF BEXAR County, TEXAS  
ADDRESS 12322 MAPLE TREE DRIVE

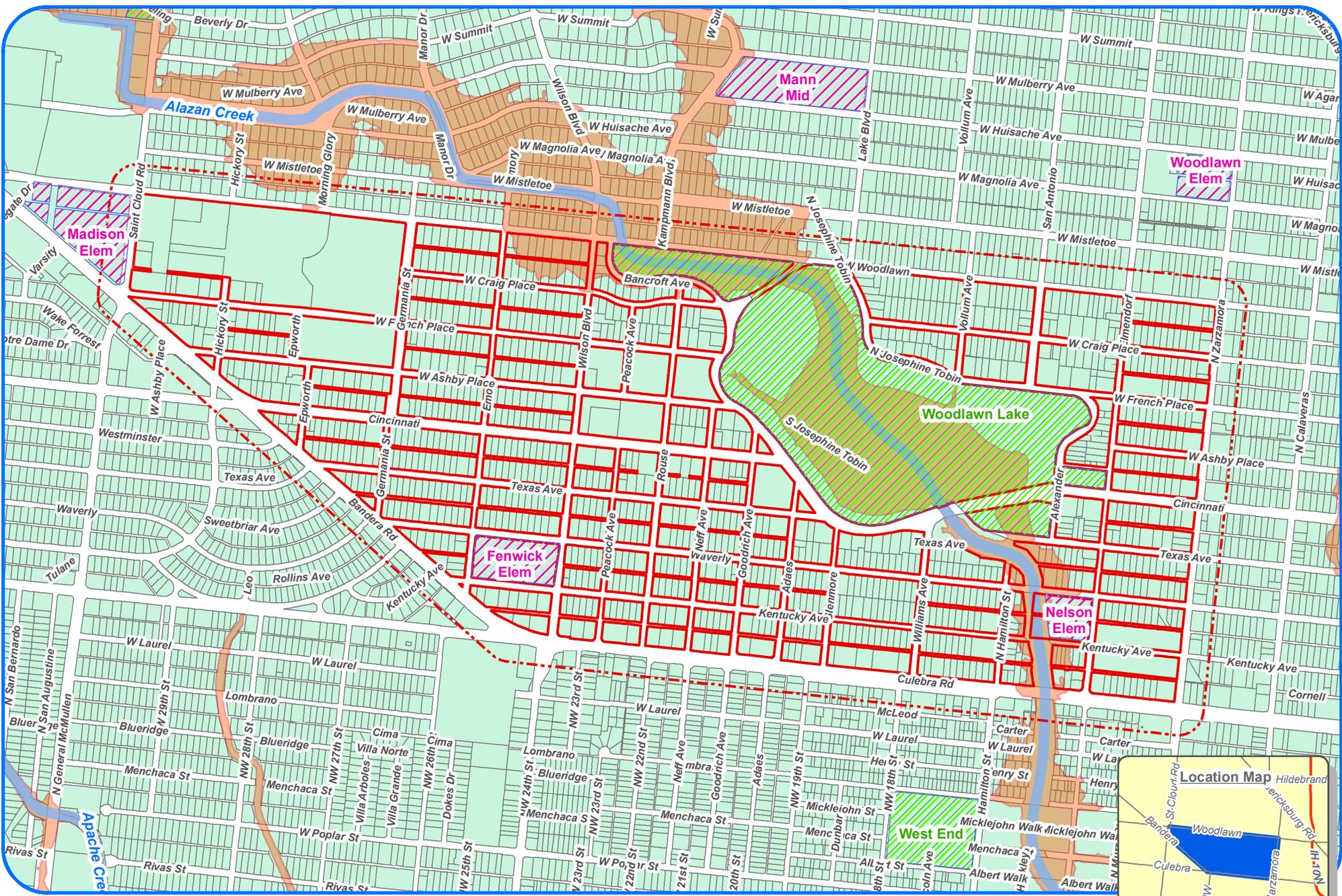
"*Justin M. ...* the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all City-adopted Codes at the time of plan submitted for building permits."

ACRES .1910 GFA 1933 CURRENT ZONING R-6

- = Setback Lines
- - - = 6' Wooden Privacy Fence
- ||||| = Cement/Paved Driveway, Sidewalks, Walkways, Patios, Porches
- ▨ = Childcare Area

\* This will be used for license c.c. facility





# Zoning Case Notification Plan

## Case Z-2011-010

Subject Property Legal Description(s): Various (See Attachment)

### Legend

- Scale: 1" approx. = 1,000 Feet
- Subject Property  (398.7 Acres, 1,250 Properties)
- 200' Notification Area
- Council Districts 1 and 7
- 100-Year FEMA Floodplain

**Note: Proposed Zoning will append NCD-8 Zoning to all existing Zoning classifications within Subject Properties.**

# CASE NO: Z2011010

## Final Staff Recommendation - Zoning Commission

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**Date:** November 16, 2010

**Council District:** 1 & 7

**Ferguson Map:** 484, 518

**Applicant Name:**  
City of San Antonio

**Owner Name:**  
Multiple Property Owners

**Zoning Request:** From multiple zoning district to multiple zoning districts with the adoption and application of the Woodlawn Lake Neighborhood Conservation District (NCD-8)

**Property Location:** Multiple lots located within the municipal boundary of the City of San Antonio and generally bound by Woodlawn Street to the north, Zarzamora Street to the east, Culebra Road to the south, and Bandera Road and St. Cloud Street to the west.

**Proposal:** To adopt and apply the Woodlawn Lake Neighborhood Conservation District (NCD-8)

**Neigh. Assoc.:** Woodlawn Lake Community Association, Jefferson Neighborhood Association

**Neigh. Plan:** Near Northwest Community Plan

**TIA Statement:** A Traffic Impact Analysis (TIA) is not required.

**Staff Recommendation:**  
Approval.

### OVERVIEW

The proposed Woodlawn Lake Neighborhood Conservation District is bound by Woodlawn Street to the north, Zarzamora Street to the east, Culebra Road to the south, and Bandera Road and St. Cloud Street to the west. The proposed Woodlawn Lake Neighborhood Conservation District area consists of approximately 527 acres of land and 1,200 parcels, primarily of "R-4" Residential Single-Family zoning. Other zoning designations that are located within the proposed Woodlawn Neighborhood Conservation District area include "RM-4" Residential Mixed District, "NP-10" Neighborhood Preservation District, "MF-33" Multi-Family District, Conditional Zonings and "C-3NA" General Commercial District, Nonalcoholic Sales.

In March, 2009, The Woodlawn Lake Community Association applied for a Neighborhood Conservation District designation. In August, 2009, The Woodlawn Lake area was selected for this designation based on goals identified in the Near Northwest Community Plan adopted in February, 2004. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The proposed Woodlawn Lake Neighborhood Conservation District meets the ordinance requirements with 97% of the land area containing structures that are 25 years or older and 98% of the land area presently improved.

A Neighborhood Conservation District has design standards which address the character-defining features of the neighborhood and reflect the style and/or form of the neighborhood block. It is a neighborhood revitalization tool that provides a more predictable course of development for both neighborhood property owners and the development community. Neighborhood Conservation Districts are designed as overlays to the regular zoning districts; properties within the proposed boundary will maintain the base zoning designation.

# CASE NO: Z2011010

## Final Staff Recommendation - Zoning Commission

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### PUBLIC PROCESS

The proposed design standards identified in the Woodlawn Lake Neighborhood Conservation District document were developed through a year-long public participation process where all property owners within the district and adjacent areas were afforded an opportunity to actively participate in creating the proposed design standards. The public process included 3 public meetings, 19 planning team meetings, and several “block-walk” survey events. Participants in the “block-walk” survey events included students from St. Mary’s University, Jefferson High School, and other local volunteers.

The first public meeting was held on October 21, 2009 and provided property owners, representatives from neighborhood associations and public entities, and other stakeholders an opportunity to learn more about the Neighborhood Conservation District program and planning process. The public was invited to participate in the planning process and volunteer to be a member of the Planning Team. The Planning Team members worked closely with staff from the Planning & Development Services Department during a series of 19 meetings and workshops to formulate site and building design standards that would reflect the character and established development pattern of the neighborhood.

### Administration

The proposed Woodlawn Lake Neighborhood Conservation District (NCD-8) would not regulate uses, nor would it require a property owner to rehabilitate an existing structure to conform to the new standards. Permitted uses are determined by the underlying base zoning.

When an application for a development permit for property within a Neighborhood Conservation District is received, staff with the Neighborhood Planning and Urban Design section of the Planning and Community Development Department reviews the submitted plans within 10 days to determine compliance with the adopted standards. After staff has reviewed the applicant’s plans, a Certificate of Compliance is either issued or denied via the City’s online permitting system. If denied, the applicant may resubmit with the appropriate changes or appeal to the Board of Adjustment. Preliminary plan review services are available to applicants who wish to test compliance with the standards before construction plans are finalized.

### Conclusion

The proposed Woodlawn Lake Neighborhood Conservation District would help ensure that future development and building rehabilitation in the area is compatible with surrounding structures and would protect the character of the area from insensitive or incompatible development. The Woodlawn Lake Neighborhood Conservation District includes site and building design standards that were developed through a public participation process and address site and building design elements including: building setbacks, driveway and sidewalk configurations, building materials, roof and pitch standards, and window proportions (for a complete list of standards, please see the attached draft Woodlawn Lake Neighborhood Conservation District document). The adoption of this overlay district would ensure that future development and rehabilitations maintain and preserve the established character and appearance of the Woodlawn Lake neighborhood. The administration of building reviews and permitting will offer a fair and objective review process for new development projects.

Staff supports the creation and designation of the Woodlawn Lake Neighborhood Conservation District (NCD-8).

**CASE MANAGER:** Gary Edenburn 207-0139

# The Woodlawn Lake Area

Neighborhood Conservation District





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## APPENDIX

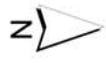
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Map Created By:  
 City of San Antonio  
 GIS Department  
 10/20/10



**BOUNDARY AREA**  
 Woodlawn Lake Area  
 Neighborhood Conservation District  
 City of San Antonio



## EXECUTIVE SUMMARY

In response to the City's 1997 Master Plan and the 1998 Community Revitalization Action Group (CRAG) Report, the concept of the Neighborhood Conservation District (NCD) was determined to be a proactive tool to use to address neighborhood sustainability through compatible infill construction and rehabilitation in unique areas of the city. Since the adoption of the NCD enabling ordinance and development of the NCD program, seven (7) NCDs have been designated by City Council: South Presa Street/ South St. Mary's Street (NCD-1), Alta Vista (NCD-2), Ingram Hills (NCD-3), Whispering Oaks (NCD-4), Beacon Hill (NCD-5), Mahncke Park (NCD-6), and Jefferson (NCD-7).

The Woodlawn Lake Area neighborhood was selected for designation based on goals identified in the Near Northwest Community Plan, adopted in February, 2002. Section 3.3.3 of the Plan states, "Investigate Neighborhood Conservation Districts as a way to protect the architectural character of the neighborhood." There are approximately 1,244 parcels within the 527-acre district.

Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The Woodlawn Lake Area NCD meets the ordinance requirements with 97% of the land area containing structures that are at least 25 years old and 93% of the land area presently improved. 84% of the NCD area was improved before 1960, and only 9% of the area was improved after 1960. According to Bexar County Appraisal data, 7% of the Woodlawn Lake Area parcels do not have recorded improvements.

Various styles of single story Craftsman architecture are prevalent throughout the Woodlawn Lake area. In addition, a mixture of post-World War II modern, Tudor, Mission, and Cottage style homes contribute to the architectural diversity and character of the area. While this architecture is an important feature, the design standards found in this plan do not intend to enforce architectural style, but are crafted to perpetuate historical arrangements of buildings, scale, massing of building volumes, celebrate the original character of buildings, de-emphasize and conceal spaces designed for the automobile, increase the amount and quality of spaces designed for interaction between neighbors and improve the visual appeal of the entire area. Design standards are not intended to make improvements or development more costly.

The completion of the designation process brings to fruition the neighborhood's vision of protecting and preserving the unique character of the Woodlawn Lake area. This designation meets the intent and upholds the spirit of the Neighborhood Conservation District Program.

**\*\*\*Civic buildings and religious sanctuaries are exempt from the design standards of this document.**

## ACKNOWLEDGEMENTS

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## ABOUT THIS PLAN

The development of Neighborhood Conservation Districts (NCDs) in San Antonio is in response to the 1997 Master Plan and 1998 Community Action Revitalization Group (CRAG) recommendations. The NCD addresses concerns regarding the protection of neighborhood character for new residential and commercial construction.

Neighborhood Conservation Districts represent geographic areas in context of the total streetscape. Neighborhood based design standards address the character-defining elements of local identity and perception, and may reflect a specific architectural style and/or character of the neighborhood block. Neighborhood Conservation District designation, whether used to protect distinctive architectural or natural features, helps to stabilize property values and deter incompatible or insensitive development. It is a neighborhood revitalization planning tool that provides:

- a more predictable course of development for both neighborhood property owners and the development community;
- an efficient building permit process without the necessity of a Commission review, and;
- a means of self-determination for residential and commercial neighborhood organizations.

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**The Woodlawn Lake Neighborhood Conservation District Plan** provides design standards that encourage, promote, and facilitate compatible development within the area. Design standards have been adopted in order to promote the existing development pattern and architectural diversity of the neighborhood. This document serves as a planning tool to guide future development by promoting the desired elements of the existing neighborhood character.

Over the course of several months, residents developed these standards based on surveyed character maps of the area. These character maps were created from surveys of every parcel within the district, and serves as the basis for which the design standards are based. These maps identify dominant features such as sidewalk condition, front walk and driveway configurations, building materials, roof pitch, fence placement and fence materials, front porch configuration and window proportions. A core neighborhood-based planning team was established to guide the process. Beginning in the fall of 2009, planning team and public meetings were held to promote the planning process, and to encourage community involvement. Residents were invited to assist in the creation of this plan, to comment on the proposed standards, and to actively participate in the creation of this document. The planning team, district 7 council office, and the city used various outlets to promote and advertise this community-based process.

The Woodlawn Lake Area Neighborhood Conservation District plan represents the culmination of this effort.

## DOCUMENT FORMAT

The Woodlawn Lake area NCD document is divided into three main categories: Design Matrix, Design Standards, and Appendices. The Design Matrix sections for residential and non residential standards represent a short summary of each standard. This is useful as a quick reference to determine if design standards are applied to a specific project.

The Design Standards section gives greater attention to the detail and specifics of each design standard. Images and illustrations are used to convey design concepts and to clarify the intent and purpose of the standard.

Appendices include a Glossary of Terms, Neighborhood Character Maps, Listing of Property Owners, NCD Meeting and Public Process, and Attachments for Zoning Commission documentation and the City Council adopted ordinance.

- The Glossary of Terms provides a reference of commonly used terminology found throughout the document. Additional and related terms are also included to provide support and/ or clarity to related concepts and/or definitions.
- The Neighborhood Character Maps represent the guiding document for determining the design standards. These maps illustrate the character of the area by identifying dominant characteristics and themes common throughout the Woodlawn Lake neighborhood. Consisting of approximately 25 items, each survey captures features such as sidewalk condition, roof pitch, window proportion, and driveway materials. Every property within the boundary area was surveyed by the community.
- Zoning Commission documentation reflects the formal public process and hearings related to this plan.
- The adopted City Council ordinance is the final attachment to this document.

The design standards identified in this plan will apply and take precedence over interpretations, discrepancies, or adopted Unified Development Code standards.



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# **RESIDENTIAL DESIGN MATRIX**

**RESIDENTIAL  
DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD	SOURCE
<b>Building Size, Massing</b>	<b>Maximum Height of Primary Dwelling</b>	35 feet with a roof pitch of at least 12:12 or greater. When roof pitch is less than 12:12, the maximum height is 30 feet.	3.2 Pg. 27
	<b>Maximum Height of Accessory Structures</b>	Height not to exceed 80% of primary structure, up to a maximum of 24 feet in height.  *See page 26 for carport height standards.	Pg. 27
	<b>Size of Primary Dwelling</b>	Front-facing façade (width of primary structure) shall not exceed 50 feet.	3.5.5 Pg. 31
	<b>Lot Width and Coverage</b>	Minimum lot width: 25 feet Maximum lot width: 75 feet	2.1.1 Pg. 20
	<b>Front and Side Yard Building Setbacks</b>	Side setbacks are determined by the base zoning of the property.  Front building setbacks shall be between 20 feet and 35 feet, and/or within 20% of the mean of the structures on the block face.	2.1 Pg. 20
<b>Off Street Parking and Loading Requirements</b>	<b>Driveways and Curb Cuts</b>	Driveways shall not exceed 18 feet in width. Driveways may be widened beyond 18 feet beginning 5 feet behind the adjacent front façade of the primary structure.	2.3.2 Pg. 22
		Circular driveways are prohibited on residential streets; Circular drives are permitted on collector streets and major roads.	2.3.3 Pg. 22
		Maximum curb cut width: 25 feet	Pg. 23
		Circular Driveway Standards	2.3.3 Pg. 22
		Driveway Location Standards	2.3.5 Pg. 23

**RESIDENTIAL  
DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD	SOURCE
<p><b>Paving, Hardscape Covering</b></p>	<p><b>Front Walks &amp; Side Walkways</b></p>	<p>An impervious, non-meandering front walk shall be constructed from the primary dwelling structure to the front street or public sidewalk. The front walk may meander in order to avoid a physical feature; tree, etc.</p>	<p>2.2 Pg. 21</p>
		<p>The front walk shall be a minimum of 3 feet in width, and a maximum of 4 feet in width.</p>	<p>2.2.2 Pg. 21</p>
		<p>If a side walkway is constructed, connecting the front walk and the driveway, a 4 foot minimum grass or landscaped separation between the front walk and driveway shall be achieved. Side walkways shall be a maximum of 4 feet in width.</p>	<p>2.2.3 Pg. 21</p>
<p><b>Garages and Carports</b></p>	<p><b>Garage Location</b></p>	<p>Garage entrance location shall be located and recessed at least five feet behind the front façade of the primary structure.</p>	<p>3.1.1 Pg. 25</p>
	<p><b>Garage Enclosures</b></p>	<p>Existing attached garages shall not be enclosed or converted to living space.</p>	<p>3.1.1 3.1.1.2 3.1.1.3  Pg. 25</p>
	<p><b>Carports Location Standards</b></p>	<p>Materials and roof pitch shall match primary structure;</p> <p>Temporary carports such as those constructed of canvas or vinyl tent material with pole supports are prohibited. Carports must have an approved, engineered foundation for each pole or column base, and shall be a secure permanent structure.</p> <p>Detached carports shall not exceed ten feet (10') in height.</p> <p>Carports, garages, and similar structures shall not be the dominating feature of the streetscape.</p>	<p>3.1.2 Pg. 26</p>

**RESIDENTIAL  
DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD	SOURCE
Principal Elevation Features	Front Porch	<p>Existing front porches shall not be reduced in size. No appliances or similar items may be used or stored on the front porch.</p> <p>Front porches may be “screened-in” with woven/ open wire mesh (excluding chicken wire, burglar bars, chain link, and similar materials), and shall maintain 80% open transparency. Glass, plexi-glass, or similarly solid transparent materials are not permitted. Solid metal, wood or decorative doors are not permitted on porch enclosures.</p> <p>The use of storm or screen doors for porch enclosures is permitted.</p> <p>A porch or stoop is required for all new construction.</p>	3.5.4 Pg. 30
	Utilities	All utility boxes, HVAC equipment and other mechanical and utility services shall be screened and concealed from street views with vegetative screening materials (shrubs, bushes, etc.).	2.5.6 Pg. 24
	Fencing	<p>New front yard fencing: maximum height of 48 inches. Front yard fencing shall maintain a 50% transparency. A fence may consist of solid materials up to 12 inches above grade.</p> <p>Rear yard fences abutting an alley shall have a gate or access opening to the alley.</p> <p>Prior to the installation of NEW front yard fencing, all fencing occupying the same or approximate footprint of the new fence shall be completely removed.</p>	<p>2.5 Pg. 24</p> <p><b>Prohibited fencing materials:</b> barbed wire, chicken wire, razor wire.</p>

CATEGORY	ISSUE	DESIGN STANDARD	SOURCE
Principal Elevation Features	<p><b>Front Façade Windows, Doors, and Other Openings</b></p>	<p>The sum of the first floor glazing, doors, and other openings shall be at least 25% of the front elevation surface area.</p> <p>A front door shall be located on the front façade of the primary structure, and shall be directly accessible from the front porch or stoop.</p> <p>Sliding glass doors are not permitted on the principal front street-facing elevation. French doors are not permitted on the first floor of the principal front street-facing elevation or front-facing façade of the primary structure. French doors are permitted on second floor balconies of the front street-facing elevation of the primary structure.</p>	<p>3.5.2 Pg. 29</p>
	<p><b>Windows</b></p>	<p>Window proportions on existing structures shall be maintained. Windows for new construction shall have a 2:1 ratio and a minimum 6 inch vertical separation from other windows. Window proportions for additions shall match existing windows. Tint, aluminum foil, and similar coating materials are prohibited.</p>	<p>3.5.3 Pg. 30</p> <p>Window Standards apply to street facing facades.</p>
	<p><b>Ramps and Similar ADA Accessible Structures</b></p>	<p>Ramps and similar structures shall be built parallel to the front wall of the structure, if feasible. All ramps and railings shall meet the most current City of San Antonio building code and shall be engineered to meet Americans with Disabilities guidelines. Non-wooden structures (metal aluminum, plastic, etc.) are not permitted.</p>	<p>2.6 Pg. 24</p>
	<p><b>Mailboxes</b></p>	<p>Freestanding, curb-side mailbox poles and support bases shall maintain a low profile and shall be supported by a single pole. Rock, brick, stucco, wood, stone, or similar materials are not permitted for mailbox base or pole support.</p>	<p>2.5.4 2.5.5 Pg. 24</p>
	<p><b>Façade Materials</b></p>	<p>Metal siding is prohibited. Faux siding is prohibited. Replacement siding shall match existing siding in profile and form.</p>	<p>3.5.1 Pg. 28</p>

**RESIDENTIAL  
DESIGN MATRIX**

CATEGORY	ISSUE	DESIGN STANDARD	SOURCE
Lighting	Glare	New outdoor fixtures having a total output of more than 1800 lumens must be full-cut-off fixtures.	3.5.6 Pg. 31
	Light Trespass	Light trespass is prohibited.	
Lot Coverage	Impervious Cover	Front yards shall maintain a minimum of 50% pervious cover.	2.3 Pg. 22
Roof Line and Pitch	Pitch	Maximum roof pitch for all new construction shall be no greater than 12/12. Roof lines and pitch on existing structures shall be maintained.	3.3 Pg. 27
	Eaves and Overhang	Maximum eave overhang shall extend no further than 3 feet beyond the exterior wall, and shall not extend more than 3 feet below the top of the principal façade. The roof overhang shall be a minimum distance of 9' from the bottom of the foundation.	3.4 Pg. 28
Landscaping	<p>The most current provisions of the Unified Development Code of the City of San Antonio shall be upheld as minimum landscaping standards for all new projects.</p> <p>Front yard water features and similar devices requiring a plumbing or electrical permit are not permitted.</p> <p>Front yard statuaries, including bird baths and similar permanent decorative structures, shall not exceed 4' in height.</p> <p>Fixed sprinkler systems and rain catchment systems are permitted.</p>		2.4 Pg. 23

\*\*\*Civic buildings and religious sanctuaries are exempt from the design standards of this document.

# Historic Homes Tour

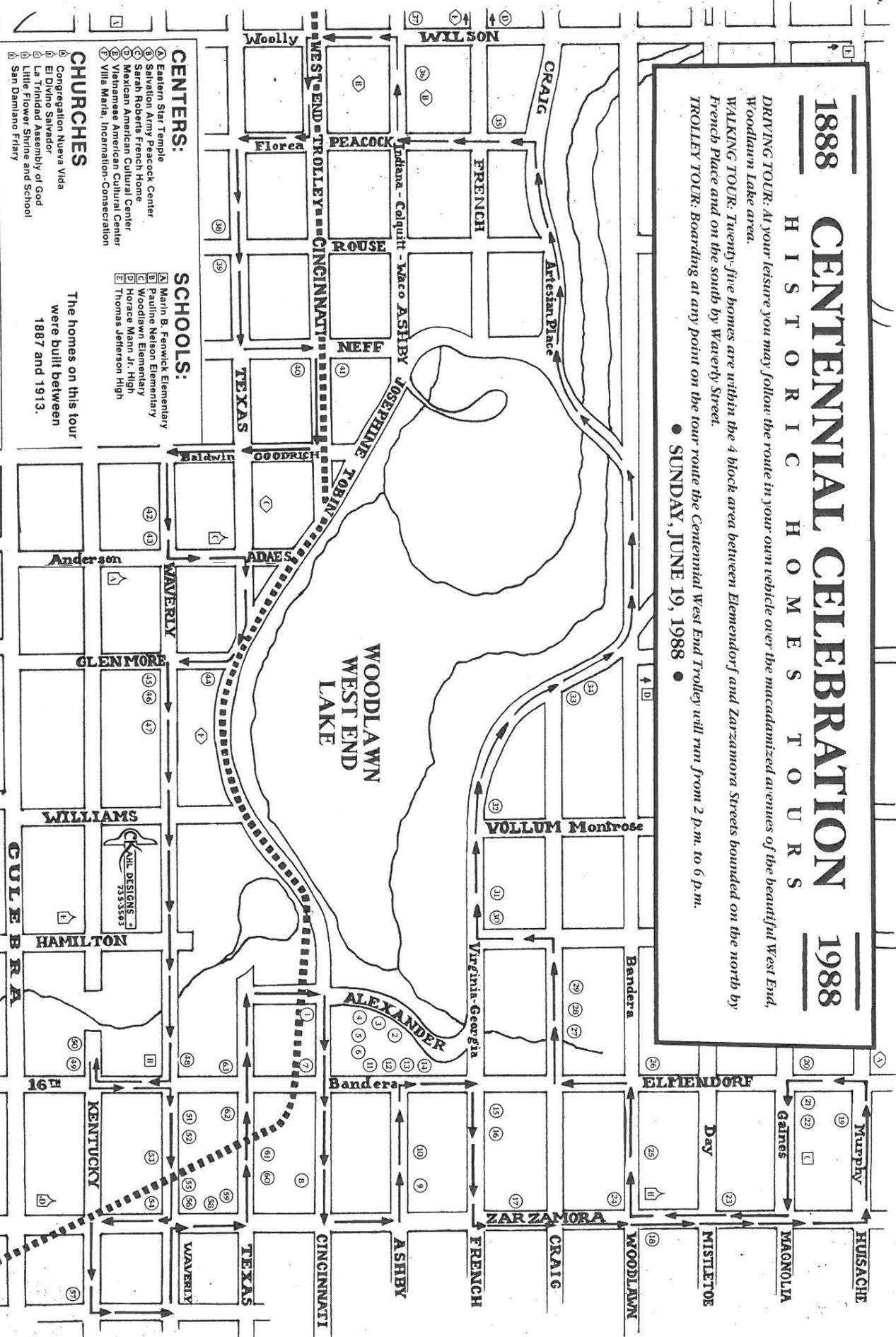
## 1888 CENTENNIAL CELEBRATION 1988 HISTORIC HOMES TOURS

**DRIVING TOUR:** At your leisure you may follow the route in your own vehicle over the macadamized avenues of the beautiful West End, Woodlawn Lake area.

**WALKING TOUR:** Twenty-five homes are within the 4 block area between Elementory and Zarzamora Streets bounded on the north by French Place and on the south by Waverly Street.

**TROLLEY TOUR:** Boarding at any point on the tour route the Centennial West End Trolley will run from 2 p.m. to 6 p.m.

● SUNDAY, JUNE 19, 1988 ●



- CENTERS:**
- 1 Eastern Star Temple
  - 2 Salvation Army Peacock Center
  - 3 Sarah Roberts French Home
  - 4 Mexican American Cultural Center
  - 5 Vietnamese American Cultural Center
  - 6 Villa Maria, Incarnation-Consecration

- SCHOOLS:**
- A Martin B. Fenwick Elementary
  - B Pauline Nelson Elementary
  - C Woodlawn Elementary
  - D Horace Mann Jr. High
  - E Thomas Jefferson High

- CHURCHES**
- 1 Congregation Nueva Vida
  - 2 El Divino Salvador
  - 3 La Trinidad Assembly of God
  - 4 Little Flower Shrine and School
  - 5 San Damiano Friary

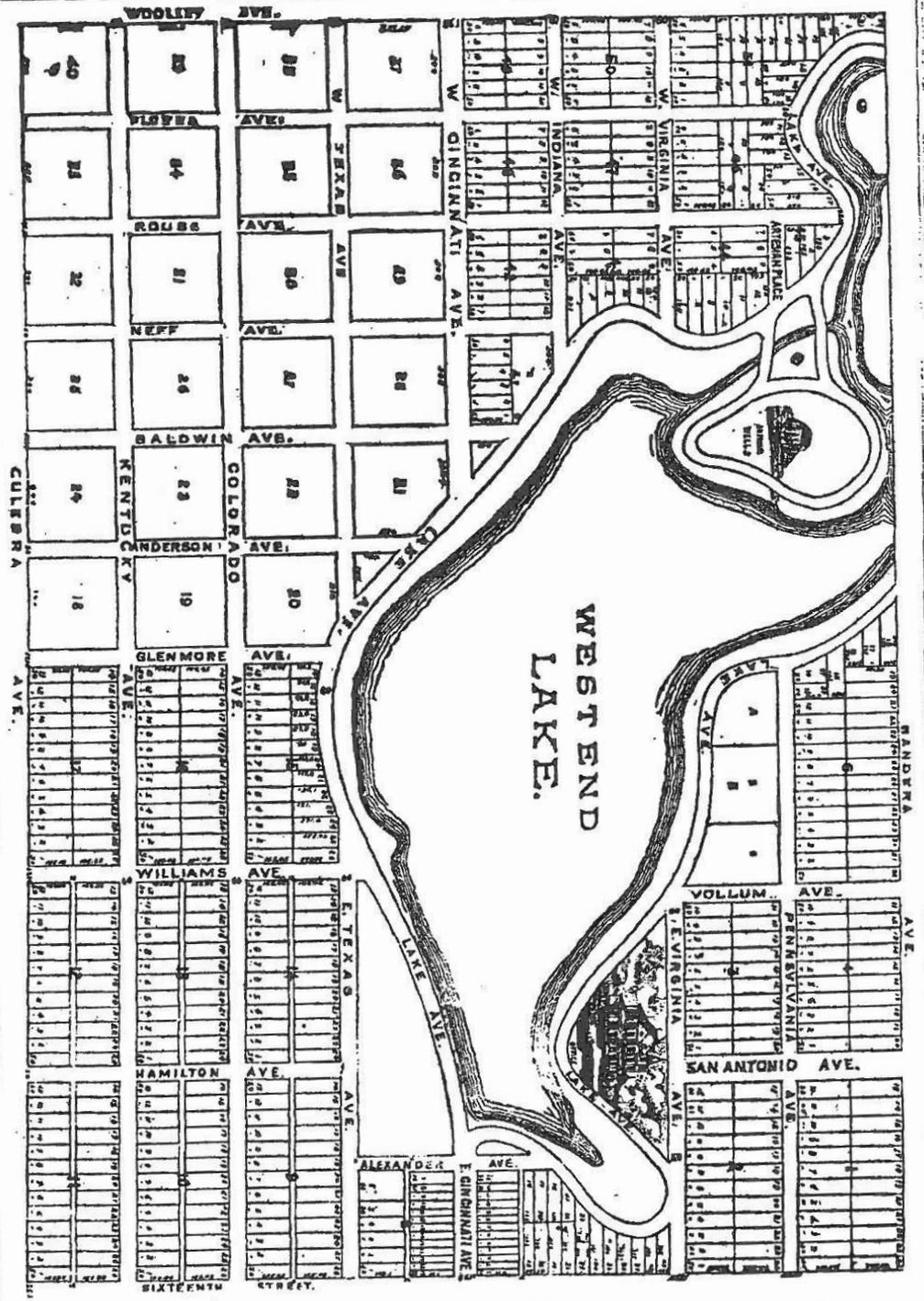
The homes on this tour were built between 1887 and 1913.

Previous Street Names

PRESENT STREET NAMES

THE accompanying map is a plat of the West End addition to the city of San Antonio. This addition is about two and one-half miles northwest of the center of said city, and is reached by a rapid transit street railway that is now nearly completed, and will be in operation in a few days. More than three-fourths of the track is now laid. This suburb is laid out in fine avenues and streets, already macadamized and improved, surrounding a most beautiful lake, covering 80 acres of pure, fresh water, supplied by two celebrated artesian wells. On this lake is fine boating. West End now has 60 dwellings, all fine, and many of them elegant, and quite a number in course of construction. Many lots are selling to parties for residences, and this suburb is rapidly building up. It lays high, overlooking the city and surrounding country. Its avenues and walks are shaded by magnificent trees. Its pure fresh air, lovely surroundings and suburban quiet, make it a most desirable place for residence. It will be within ten minutes of the center of the city by the rapid transit line now nearing completion.

# WEST END



## WEST END TOWN CO.



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# **RESIDENTIAL DESIGN STANDARDS**

## RESIDENTIAL DESIGN STANDARDS

The Woodlawn Lake Area Neighborhood Conservation District (NCD) design standards apply to new construction projects and to improvements or renovations to existing structures where the work may or may not require a building permit and is specifically governed by the NCD design standards. In the case of ordinary repair and maintenance, existing non-compliant structures or conditions shall not be required to conform to the design standards, although any modification shall not increase the non-conforming condition.

### NEW CONSTRUCTION

Although the Woodlawn Lake Area neighborhood is an established, developed area, there may be opportunities for development of vacant lots and demolition of structures for new construction. Applicants are advised to consult the design standards found in this document for guidance to specific projects. The Neighborhood Conservation District staff will review permit requests for proposed development to ensure compliance with these standards prior to the issuance of any permit. This review process does not increase the normal review period, and for some projects the permit request may be reviewed and issued at the time of submittal. The Neighborhood Conservation District staff will work diligently with applicants to ensure a timely and thorough review.

To facilitate the NCD permitting review process, at a minimum, submitted building plans for new construction shall include the following:

- **Site Plan drawn to scale**
  - Location and dimensions of building footprint(s) for all structures, existing and proposed
  - Location and dimensions for all sidewalks, existing and proposed
  - Location, dimensions, and materials for all fencing, existing and proposed
  - Driveway and curb cut location/ dimensions, existing and proposed
  - Garage and/ or Carport (if any) location/ dimensions
  - Location and dimensions of all HVAC equipment
  - Calculation of front façade area, including all fenestrations (doors, windows, openings)
- **Front elevations** (and side elevations, if a corner lot)
- **Front porch detail**
- **Building materials**
- **Roof pitch and materials**
- **Front window proportions/ type of windows**
- **Front setback of adjacent properties**

\*\* For clarification, NCD staff may request additional information including drawings, photos, illustrations, and/or dimensions in order to demonstrate compliance with the Woodlawn Lake Area NCD design standards.

## REMODELS/ REHABILITATIONS/ ADDITIONS

Building permits are required for most home rehabilitation projects. In order to accurately determine if a permit request meets the Woodlawn Lake Area NCD design standards, a permit application must demonstrate compliance with these standards. To facilitate a timely permit review process, a permit application must include detailed project information that may include photographs, drawings, sketches, written narrative, and/or dimensions. Additionally, an applicant may be required to submit a site plan showing the dimension and location of the proposed remodel or rehabilitation project. The NCD review staff may require additional information to better understand the scope of work and to ensure that the permit will meet the residential design standards of the Woodlawn Lake Area NCD.

The most frequently requested permits for rehabilitation, remodels, and additions include:

- **New Carport**
- **Widen or Extend Driveway/ Curb Cut**
- **Siding or Façade Modification**
- **Room Addition**
- **Change/ Replace Windows**
- **Enclose or Partially Enclose Front Porch**
- **New or Replacement Fencing**

*Additional information may be required in order to demonstrate compliance with the Woodlawn Lake Area Neighborhood Conservation District design standards.*



The City of San Antonio's Development and Business Services Building, located at 1901 S. Alamo.

## 1. Residential Design Standards

The Woodlawn Lake area Neighborhood Conservation District (NCD) design standards apply to new construction projects and to improvements or renovations to existing structures where the work requires a building permit and is specifically governed by the NCD design standards. In the case of ordinary repair and maintenance, existing non-compliant structures or conditions shall not be required to conform to the design standards, although any modifications shall not increase the non-conforming condition.

## 2. Site Design Standards

Collectively, standards for lot size, coverage, and setbacks help maintain and promote the existing neighborhood scale and massing of structures. Building setback requirements provide uniform and appropriate spacing between buildings and structures, maintain open space, and allow for air flow and light penetration by providing a separation distance between buildings. In the Woodlawn Lake area, building arrangement and placement significantly contributes to the character of the neighborhood.



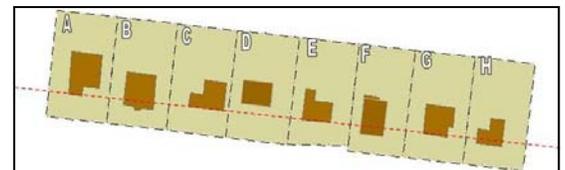
The above streetscape illustrates a uniform setback and building arrangement.

### 2.1 Lot Size and Coverage

2.1.1. **Lot Width:** Minimum re-platted lot widths shall not be no greater than seventy five feet (75'-0") measured at the lot width parallel to the plane of the front façade of the proposed or existing principal dwelling and at the lot frontage adjacent to the primary street.

2.1.2. **Front Building Setbacks** shall be between twenty feet (20'-0") and thirty five (35'-0"), and/ or within twenty percent (20%) of the mean of the structures on the blockface.

2.1.3. **Side Building Setbacks** are determined by the base zoning of the property (see the Unified Development Code (UDC) for building setback requirements).



The above blockface illustration shows a mean setback line of 28 feet. To calculate the mean (average) blockface setback, add all setback distances of the blockface and divide by the total number of lots.

The sample blockface lot setbacks:

Lot A = 31 feet	Lot E = 32 feet
Lot B = 18 feet	Lot F = 20 feet
Lot C = 32 feet	Lot G = 30 feet
Lot D = 38 feet	Lot H = 23 feet

$224$  (total setback feet) divided by  $8$  (number of lots) =  $28$  ft mean blockface setback.

The mean front setback on this sample blockface may be within 20% of the 28 feet mean front setback of the blockface.

## 2.2. Sidewalks

Sidewalks and front walks contribute to the streetscape of the Woodlawn Lake area neighborhood. Sixty eight percent of single family residences exhibit front walks, connecting the house to the front curb or sidewalk. Side and front walks also promote pedestrian activity by providing an open, walkable streetscape and front yard vegetation of the developed streetscape. The standards for paving and hardscape covering area intended to preserve this arrangement.



A typical Woodlawn Lake Neighborhood sidewalk and streetscape configuration.

**2.2.1 Front Walks:** A non-meandering front walk shall be constructed from the primary dwelling structure to the front street or public sidewalk. The front walk may meander in order to avoid a vegetative feature; tree, etc.

**2.2.2 Sidewalk Dimensions:** All sidewalks and walkways shall be a minimum of three feet (3'-0") in width and shall not exceed four feet (4'-0") in width.

**2.2.3 Front Walk and Driveway Separation:** A four foot (4'-0") minimum grass or similar separation between the front walk and driveway shall be maintained. Side walkways shall be a maximum of four feet (4'-0") in width.

**A Front Sidewalk** runs parallel to the front façade of the primary structure, and is located on or near the public street.

**Front Walks** connect the front porch to the street or public sidewalk.

**Side Walkways** connect the front walk to the driveway.

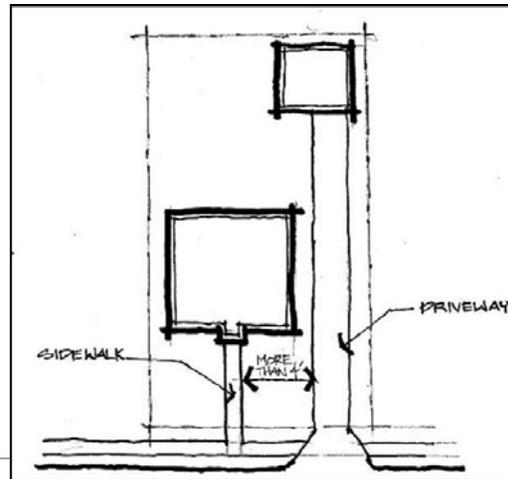


Diagram showing the separation distance of front walk and driveway.



The absence of grass or landscaped separation between the driveway and front walk.



An appropriate separation between the driveway and front walk.



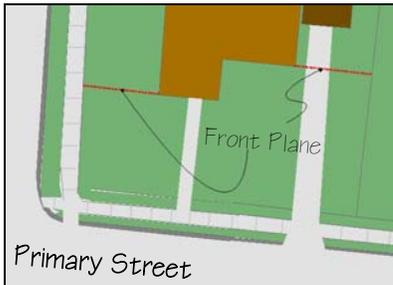
A typical Woodlawn Lake area sidewalk and front walk configuration.

### 2.3. Impervious Cover/ Driveway Configuration

Mature vegetative streetscapes and larger front yard setbacks (20 to 30 feet) is typical of the character and charm of the Woodlawn Lake area neighborhood. The greenspace collectively provided by each property, over time, has created a desirable and visually attractive streetscape.



The purpose of providing driveway and parking design standards is to minimize the amount of impervious cover, preserve the original streetscape development pattern of the neighborhood, and maintain the character and charm of the streetscape. 63% of homes in the Woodlawn Lake Area accommodate single-width driveways.



The front yard is the area between the front plane of the primary dwelling and the street.



The addition of impervious cover, such as widening a driveway or sidewalk, can significantly alter the character of a streetscape. Front yards and greenspace is generally less common in many newer neighborhood developments.



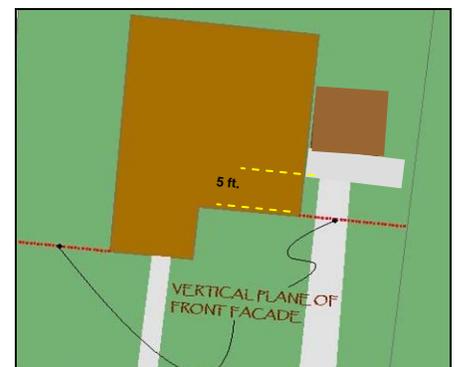
**2.3.1 Pervious Covering:** Front yards shall maintain a minimum of fifty percent (50%) pervious covering area.

**2.3.2 Driveway Width:** Driveway widths shall not exceed eighteen feet (18'-0") in width. Driveways may be widened beyond eighteen feet (18'-0") beginning five feet (5'-0") behind the front façade plane of the primary structure.

**2.3.3 Circular Driveways:** Circular driveways are prohibited on residential streets. Circular driveways are permitted on collector streets and major roads.

**Residential/ Local Streets:** 48' right-of-way with pavement road width between 22' and 27'.

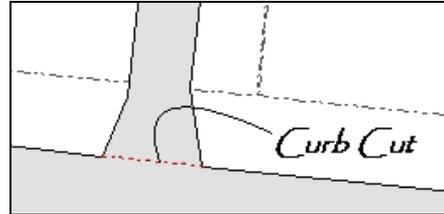
**Collector/ Major Roads:** 70' right-of-way with a pavement road width greater than 44'.



Driveways may be widened beyond 5' of the front façade plane of the primary structure.

**Front Yard:** The area between the front façade plane of the principal dwelling structure and the street or public right of way.

2.3.4 **Curb Cuts:** The maximum curb cut width shall be no greater than twenty five feet (25'-0").



The widest portion of the driveway, flared from the driveway to accommodate ingress and egress of the automobile.

2.3.5 **Off Street Parking:** Driveways shall be located to the side of the primary dwelling structure unless the driveway terminates to an attached or detached garage.



An appropriate driveway location.



Driveways terminating at the front façade of primary structures is prohibited.



Permitted driveway terminating at garage entrance.

## 2.4. Landscape

2.4.1 The most current provision of the Unified Development Code of the City of San Antonio shall be upheld as minimum landscaping standards for new construction projects.

2.4.2 Front yard water features and similar structures requiring a plumbing permit or electrical permit are not permitted. Fixed sprinkler systems and rain catchment systems are permitted.



Mature vegetative streetscapes and landscaping is common throughout the Woodlawn Lake NCD area.

2.4.3 Front yard statuary, including bird baths and similar permanent decorative structures shall not exceed four feet (4'-0") in height.

2.4.4 Artificial materials, including turf grass and similar materials, are not permitted landscape surfaces.

## 2.5. Fencing, Mailboxes, and Utilities

- 2.5.1 New front yard fences and free standing wall materials shall not include barbed wire, chicken wire, or similar materials. Chain link is a permitted fencing material. The maximum height for front yard fencing shall be no taller than forty eight (48") inches from the nearest grade. Fencing may consist of solid materials up to twelve inches (12") above grade, and shall maintain a fifty percent (50%) transparency ratio.
- 2.5.2 Rear fences abutting an alley shall have a gate or access opening to the alley.
- 2.5.3 Prior to the installation or permitting of new front yard fencing, all fencing materials occupying the same or approximate footprint of the new fence shall be completely removed.
- 2.5.4. Freestanding, curb-side mailbox poles and support bases shall maintain a low profile and shall be supported by a single pole or similar structure. Rock, brick, stucco, wood, stone, or similar materials are not permitted for mailbox base or form supports.
- 2.5.5 The mailbox base area at grade, and within a three foot (3'-0") radius of the fixed pole, shall be unobstructed and void of support structures such as wire, boards, tire or other circular support structures. A concrete support base shall not exceed a three foot (3' - 0") radius.
- 2.5.6 All utility boxes, public or private, HVAC equipment, and similar utility services shall be screened with vegetative materials and shall be concealed from street views.



Non-conforming mailbox base and support structure.



Exposed street utility boxes. Shrubs and bushes are appropriate screening materials for these structures.

## 2.6 Ramps and ADA Structures

- 2.6.1 ADA ramps and similar accessibility structures shall be build parallel to the front wall of the structure, if feasible.
- 2.6.2 All ramps and railings must meet the most recent City of San Antonio building code and shall be engineered to meet the Americans with Disabilities Act guidelines.
- 2.6.3 Non-wooden structures such as metal, aluminum, plastic, PVC, etc. are not permitted.

### 3. Building/ Structural Design Standards

Construction and structural design standards are intended to preserve and promote the established character of the neighborhood. Massing, building height, garage, carport locations, building materials, window proportions, and standards for other structurally significant features are identified in the section of the document. contributes to the character of the neighborhood.

#### 3.1 Garage and Carports

The placement and location of garages and carports significantly influences the character of the streetscape. Twenty one percent (21%) of Woodlawn Lake Area homes have detached garages, and only 6% have attached garages. The intent of garage and carport location and placement standards is to preserve the established streetscape character and discourage garages and carports from dominating the primary structure and streetscape.



Garage as the dominating feature of the single family home.



Example of an appropriately scaled carport.

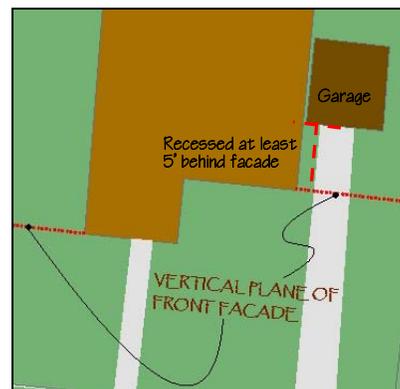


Illustration showing detached garage recessed at least 5' from front façade plane.

- 3.1.1 Garages** Attached and detached garage entrances shall be located and recessed at least five feet (5' - 0") behind the front façade of the primary structure.
- 3.1.1.1 Rear yard garages shall be setback from the rear property line at a minimum of five feet (5' - 0").
- 3.1.1.2 Existing attached garages shall maintain the original garage door proportion, and shall not be enclosed with windows, doors, or any other fixed materials.
- 3.1.1.3 Garage openings shall be maintained and unaltered.

- 3.1.2 **Carports** shall be open on all four (4) sides unless attached to a maximum of two sides of the primary residential structure and shall have unobstructed vehicular access from the public right-of-way.
- 3.1.2.1 Carports shall be accessible from the public right-of-way for vehicular ingress and egress.
- 3.1.2.2 Carports attached to the primary structure shall be open on at least two sides and shall have unobstructed vehicular access from the public right-of-way.
- 3.1.2.3 Temporary carports such as those constructed of canvas or vinyl tent material with pole supports are prohibited.
- 3.1.2.3 Carports shall have an approved, engineered foundation for each pole or column base.
- 3.1.2.4 Carport material shall match the primary structure.
- 3.1.2.5 Detached carports shall not exceed ten feet (10' - 0") in total height.



Example of non-conforming materials and roof pitch (above left), and temporary carport (above right).

**Carport:** Space for the housing or storage of motor vehicles and enclosed on not more than two (2) sides.

**Detached Carport:** Shall be open on three sides and shall have unobstructed vehicular access.

**Attached Carport:** Shall be open on at least two sides of primary structure and shall have unobstructed vehicular access.

### 3.2 Building Height

Although the Woodlawn Lake area is dominated by single story homes, many Tudor style homes are two story. The roof pitch allowance for structures taller than thirty feet (30' - 0") perpetuates this style of architecture. The height of structures survey found on page 54 of this document shows ninety two percent (92%) of single family homes are single story.

Height Standards for accessory structures ensures massing subordination to the principal building. This standard also promotes the building arrangement and scale of the existing neighborhood.

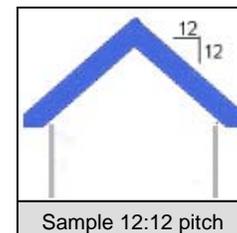
**Accessory Structure:** A subordinate building or structure customarily incident to and located on the same lot with the primary structure.

Accessory structures include, sheds, detached garages, and other structures subordinate or complimentary to the primary or principal structure.

3.2.1 The height of the primary dwelling structure shall be limited to thirty five feet (35' - 0") if the roof pitch is 12:12 or greater. When the roof pitch is less than 12:12, the maximum height shall be thirty feet (30' - 0")

3.2.2 In no case shall accessory structures exceed twenty four feet (24' - 0") in height, and shall be no taller than eighty percent (80%) of the height of the primary structure.

\*\*see 3.1.2.5 for detach carport height standards.



### 3.3 Roof Line and Pitch

The Woodlawn Lake area neighborhood has a variety of roof styles and pitches. About half of the area structures exhibit a moderate roof pitch between 4:12 and 7:12.

3.3.1 **Roof Pitch** The maximum roof pitch for all new construction shall be no greater than 12:12 for structures under thirty feet (30' - 0") in height. The pitch may be greater than 12:12 if the structure is taller than thirty feet (30' - 0") in height.

3.3.2 Roof lines and pitch on existing structures shall be maintained.

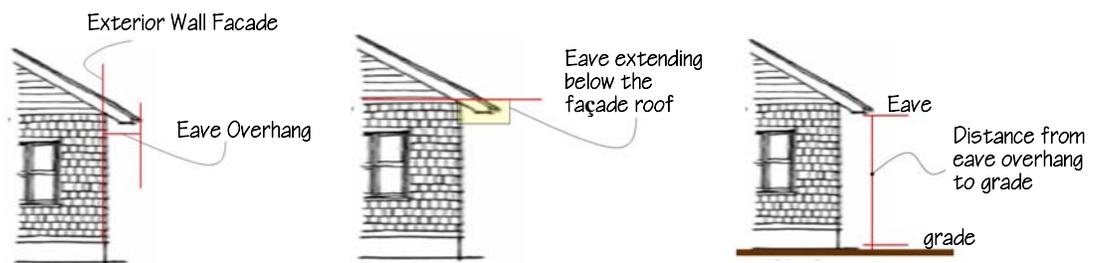


Various Woodlawn Lake Area roof styles and slopes.

### 3.4 Eaves and Overhangs

In addition to roof pitch, eaves and overhangs contribute to the style and character of the structure.

- 3.4.1 The maximum eave overhang shall extend no further than three feet (3' - 0") beyond the exterior wall.
- 3.4.2 The eave overhang shall not extend more than three feet (3' - 0") below the top of the principal façade.
- 3.4.2 The roof overhang shall be a minimum distance of nine feet (9' - 0") from the bottom of the foundation.



The above illustrations provide examples for determining and measuring the eave overhang. The design and style of roof eave dimensions helps compliment the desired roof orientation, scale and proportion of the roof pitch.

### 3.5 Principal Elevation Features

The structural elevation features of the Woodlawn Lake area include details such as the front porch configuration, windows and door openings, façade materials, and window proportions. Collectively, these features contribute substantially to the established character of the neighborhood. Elevation design standards are intended to strengthen, preserve, and promote the original development and arrangement of the neighborhood structures.

#### 3.5.1 Façade Materials

The Woodlawn Lake area has diverse façade materials. Thirty seven percent (37%) of the homes contain wood or similar siding, sixteen percent (16%) asbestos, and thirty percent (30%) maintain stucco, brick, and/or fiberboard.



Common façade materials found in the Woodlawn Lake Area NCD.

3.5.1.1 Metal and faux siding is prohibited.

3.5.1.2 Replacement siding shall match existing siding in profile and form.

### 3.5.2 Window and Door Openings

The amount of window and door openings create an inviting and open character to the structure and streetscape. A façade opening standard promotes this quality, and protects this character defining element of the front façade of residential structures.



The absence of window and/or door openings can significantly alter the character of the front façade.

3.5.2.1 The sum of the first floor openings (doors and windows) shall be at least twenty five percent (25%) of the front elevation surface area.

3.5.2.2 A front door shall be located on the front façade of the primary structure and shall be directly accessible from the front porch.

3.5.2.3 Sliding glass doors are not permitted on the principal front elevation.

3.5.2.4 French doors are not permitted on the first floor of the principal front-facing façade of the primary structure.

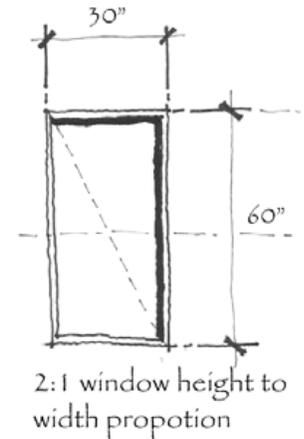
### 3.5.3 Window Proportions

Sixty four percent (64%) of the front façade windows within the Woodlawn Lake NCD are vertically proportioned. Maintaining this dominant front façade feature will contribute to preserving the style and character of the homes within the Conservation District.

3.5.3.1 Existing window proportions shall be maintained.

3.5.3.2 Windows for new construction shall have a vertical 2:1 ratio dimension and a minimum six inch (6") vertical separation from other windows.

3.5.3.3 Tint, aluminum foil, and similar coating materials are prohibited.



### 3.5.4 Front Porch

Sixty three percent (63%) of the homes in the Woodlawn Lake NCD area contain a front porch. Although there are various types and configurations, this feature lends to the quality and character of the principal structure and streetscape.

3.5.4.1 **Size** Front porches shall not be reduced in size.

3.5.4.2 **Enclosure** Front porches may be enclosed with woven/ open wire mesh or screen material. Chicken wire, burglar bars, chain link, and similar materials are not permitted enclosure materials. Front porch enclosures shall maintain eighty percent (80%) transparency. Glass, plexiglass, or similarly solid transparent materials are not permitted.

3.5.4.3 **New Construction** A porch or stoop is required for new construction.

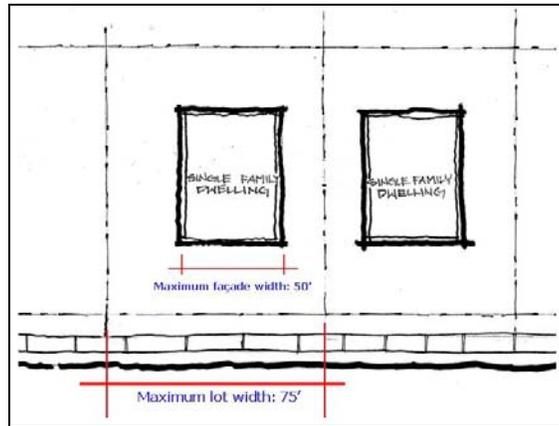
3.5.4.4 **Front Porch Doors** Solid metal, wood or decorative doors are not permitted on porch enclosures. The use of storm or screen doors for porch enclosures is permitted. Solid (non-transparent) decorative or similar doors are prohibited.



Residential structure with a non-conforming porch enclosure.

### 3.5.5 Façade Dimension

3.5.5.1 The front-facing façade width of the primary dwelling shall not exceed fifty feet (50').



### 3.5.6 Lighting

3.5.6.1 New outdoor fixtures having a total output of more than 1800 lumens shall be full cut-off fixtures and shall be shielded as to provide for directional lighting, minimizing light trespass on adjacent properties.

3.5.6.2 Light Trespass– All new lighting shall be aimed, located, designed, shielded, fitted and maintained so as not to project light onto a neighboring use or property.



Examples of appropriate wall-mounted light fixtures (wall packs) meeting the referenced standard.



Diagram of area lighting with cut-off angles.

**Light Trespass:** Light “spill” falling over property lines that illuminates adjacent grounds or buildings in an objectionable manner.



# **NON RESIDENTIAL DESIGN MATRIX**



CATEGORY	ISSUE	DESIGN STANDARD
<b>Principal Elevation Features</b>	<b>Signage</b>	Digital, video, LED, flashing, strobe signage is prohibited.
	<b>Building Materials &amp; Front Façade</b>	Covering of original brick or other masonry system details or facing materials on the front façade, with materials such as wood, metal or simulated wood siding or any other textured finish that conceal the original exterior system details is prohibited.  Existing buildings with other types of exterior skin systems shall be maintained and/or repaired or replaced with materials that match in physical composition, size, scale and proportion.
	<b>Roofing Materials</b>	Existing terra cotta, clay, ceramic, and similar roofing materials shall be maintained, repaired, and replaced with materials that match in physical composition, size, scale and proportion.
	<b>Fencing</b>	Front yard fencing is prohibited.
<b>Off Street Parking and Loading Requirements</b>	<b>Parking/ Driveway</b>	Asphalt, pavement, or permanently installed pavers are permitted. Dirt, gravel, or similarly loose pervious driveway surfaces are prohibited.

**NEW DEVELOPMENT**

The Woodlawn Lake Area NCD non residential design standards are intended to preserve and protect original structures, materials, profile, and form. While these standards primarily apply to rehabilitation of existing structures, design standards for new development may be created in future planning efforts to address appropriate redevelopment of the commercial corridors near the Woodlawn Lake Neighborhood Conservation District.



# **APPENDIX B**

# **GLOSSARY**

## Appendix B

# GLOSSARY

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**Accessory detached dwelling unit** - A dwelling unit that is accessory, supplementary, and secondary to the principal dwelling that may be constructed as an addition to the principal structure or as an accessory to the principal structure. An accessory dwelling unit is detached from the principal dwelling.

**Accessory dwelling** - An accessory detached dwelling unit or an accessory apartment.  
Accessory dwelling standards - See § 35-371 of the UDC.

**Accessory use or building** - A subordinate use or building customarily incident to and located on the same lot with the main use or building. A completely new structure or new component to an existing structure.

**Adjacent** - Two (2) properties, lots or parcels are “adjacent” where they abut, or where they are nearby and are separated by a dissimilar type of manmade or geologic feature including but not limited to a Roadway or Street, Right-of-Way, or railroad line, or any stream, river, canal, lake, or other body of water. Adjacent may or may not imply contact but always implies absence of anything of the same kind in between.

**Alley** - A minor public right-of-way not intended to provide the primary means of access to the abutting lots, which is used for vehicular service access to the back or sides of properties otherwise abutting on a public street.

**Alteration** - (Generally, as applied to a building or structure): A change or rearrangement in the structural parts or an enlargement, whether by extending on a side or by increasing in height, or the moving from one (1) location or position to another.

**Alteration** - For purposes of Historic Preservation & Urban Design, Article 6, any construction or change of the exterior of a building, object, site, or structure, or of an interior space designated as a landmark. For buildings, objects, sites or structures, alteration shall include, but is not limited to, the changing of roofing or siding materials; changing, eliminating, or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, balconies, signs, or other ornamentation; the changing of paint color; regrading; fill; imploding, or exploding, or other use of explosives or external forces. Alteration shall not include ordinary repair and maintenance.

**Apartment** - See Dwelling, multi-family.

**Awnings** – A roof-like cover, often of fabric, metal, or glass, designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, door, or the like.

**Back/ Rear Yard** – The area from the rear façade of the principal structure to the back (away from primary public right-of-way) property line.

**Base zoning district** - Any of the zoning districts established pursuant to § 35-303(a) of the UDC.

**Block face** - The properties abutting one (1) side of a street and laying between the two (2) nearest intersecting or intercepting streets, or nearest intersection or intercepting street and/or railroad right-of-way, undivided land, water course or city boundary.

**Building** - A structure designed, built or occupied as a shelter or roofed enclosure for persons, animals or property. For the purpose of this definition, "roof" shall include an awning or other similar coverings, whether or not permanent in nature. Without limiting the generality of the foregoing, the following shall be considered a "building": a house, barn, church, hotel, warehouse, or similar structure, or a historically related complex, such as a courthouse and jail or a house and barn.

**Building Articulation** – Refers to the many street frontage design elements both horizontal and vertical that help create a streetscape of interest. The appropriate scale of articulation is often a function of the size of the building and the adjacent public spaces including sidewalks, planting zones, and roadways.

**Building elevation** - The view of any building or other structure from any one of four sides showing features such as construction materials, design, height, dimensions, windows, doors, other architectural features, and the relationship of grade to floor level.

**Building footprint** - The horizontal area measured within the outside of the exterior walls of the ground floor of the main structure.

**Building mass** – See Mass.

**Building setback line** - See Setback line.

**Carport** - Space for the housing or storage of motor vehicles and enclosed on not more than two (2) sides by walls.

**Civic buildings** - Any type of public buildings including: offices, libraries, playgrounds, parks, assembly halls, police stations, fire stations.

**Commercial property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for other than residential use, i.e., for a single family, duplex, three or four family dwelling or greater for the purposes of this zoning overlay only.

**Common lot line** – a boundary of two adjacent parcels owned by the same person(s) or entity.

**Construction** - The act of adding an addition to an existing building or structure, or the erection of a new principal or accessory building or structure on a lot or property, or the addition of walks, driveways or parking lots, or the addition of appurtenances to a building or structure.

**Courtyard** - A space, open and unobstructed to the sky, located at or above grade level on a lot and bounded on three or more sides by the walls of a building.

**Cross gabled** – May have a combination of front and side gables on primary façade.

**Cutoff angle** - The angle formed by a line drawn from the direction of light rays at the light source and a line perpendicular to the ground from the light source, above which no light is emitted.

**Demolition** - The complete or partial removal of a structure from a site.

**Detached structure** - A structure having no party wall or common wall with another structure unless it is an accessory structure.

**Development** - Any man-made change in improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or, drilling operations or storage of equipment or materials.

**District** - A geographically definable area, urban or rural, possessing a significant concentration, linkage, or continuity of buildings, objects, sites, or structures united by past events or aesthetically by plan or physical development which may also comprise individual elements separated geographically but thematically linked by association or history.

**Dormers** – Rise up out of the roof and are often separate from the roof-to-wall junction. Dormers are classified by their roof shape (shed, hipped, gabled, flat, etc).

**Driveway** - Entrance to and exit from premises where it is possible to park completely off the street, and which is not open for vehicular traffic except by permission of the owner of such private property.

**Driveway approach** - A way or place including paving and curb returns between the street travel lanes and private property which provides vehicular access between the roadway and such private property.

**Driveway, front-loaded** - A driveway which begins at, or abuts, the front property line of a lot or parcel.

**Duplex** - See Dwelling two-family.

**Dwelling, Single-Family Attached (Townhouse)** - A building that has one-family dwelling units erected in a row as a single building on adjoining lots, each being separated from the adjoining unit or units by a fire wall (constructed in accordance with city codes and ordinances), along the dividing lot line, and each such building being separated from any other building by space on all sides. Each unit maintains a separate lot.

**Dwelling, Single-Family Detached** - A one-family dwelling that is not attached to any other dwelling by any means and is surrounded by open space or yards.

**Dwelling, two-family (duplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than two (2) families, each living as an independent housekeeping unit.

**Dwelling, three-family (triplex)** - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than three (3) families, each living as an independent housekeeping unit.

**Dwelling, four-family (quadruplexes)** - A detached house with common walls between the units, designed for and occupied exclusively as the residence of not more than four (4) families, each living as an independent housekeeping unit.

**Dwelling, multi-family** - A dwelling or group of dwellings on one (1) lot containing separate living units for five (5) or more families, but which may have joint services or facilities.

**Dwelling unit** - One (1) or more rooms providing complete living facilities for one (1) family, including kitchen facilities or equipment for cooking or provisions for the same, and including room or rooms for living, sleeping, bathing and eating.

**Easement** - A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation, or another person or entity.

**EIFS** – (Exterior Insulation and Finish Systems) provides exterior walls with as insulated finished surface, and waterproofing in an integrated composite material. EIFS is often referred to as “synthetic stucco.”

**Façade** - The exterior wall(s) of a building exposed to public view or that wall viewed by persons not within the building.

**Façade Surface Area** - the measure of the exposed area of front wall(s) calculated by geometric area formula of the shapes of those exposed wall(s).

**Flat roof** – Roof with no slope and may terminate with or without eaves. A parapet is often present, providing a small “wall” around the perimeter of the roof line.

**Fenestration** - The sum of windows, doors, and other openings of a building or façade.

**Floor area** - The sum of the gross horizontal areas of all floors of a structure, including interior balconies and mezzanines, measured from the exterior face of exterior walls, or from the centerline of a wall separating two (2) structures. The floor area shall include the area of roofed porches having more than one (1) wall and of accessory structures on the same lot. Stairwells and elevator shafts shall be excluded.

**Floor Space Index (FSI)** - Floor Space Index (FSI) determines the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel.

**Front gabled** – The peak or gable faces the front façade.

**Front yard** – The area from the front façade of the principal structure to the street or public right-of-way.

**Frontage** - The frontage of a parcel of land or building is that distance where a property line is common with a street right-of-way line.

**Garage, private** - A building or part thereof accessory to a main building and providing for the storage of automobiles and in which no occupation or business for profit is carried on, enclosed on all four (4) sides, and pierced only by windows and customary doors.

**Glare** - The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted to cause annoyance, discomfort, or loss in visual performance and visibility.

**Glazing** - the clear translucent material through which light can pass into a building through an opening in a building's exterior wall (usually a door or window), typically glass but can be made of other similar materials.

**Green space** - Land shown on an urban corridor site plan which may be improved or maintained in a natural state and which is reserved for preservation, recreation, or landscaping.

**Half story** - An uppermost story usually lighted by dormer windows, in which a sloping roof replaces the upper part of the front wall, and habitable areas on the uppermost story do not exceed a floor area derived by multiplying the floor area of the ground floor by fifty percent (50%).

**Height, building** - The vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the highest point of ceiling of the top story in the case of a flat roof; to the decline of a mansard roof; and to the average height between the plate and ridge of a gable, hip or gambrel roof.

**Impervious cover** - Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction covering the natural land surface; this shall include, but not [be] limited to, all streets and pavement within the subdivision.

**Infill** – Development occurs on vacant or underused lots in otherwise built-up sites or areas. Infill projects can take several forms, such as a small addition in a residential backyard, or a single or multi-parcel development.

**Percent impervious cover** is calculated as the area of impervious cover within a lot, tract, or parcel or within the total site being developed, divided by the total area within the perimeter of such lot, tract, parcel or development. Vegetated water quality basins, vegetated swales, other vegetated conveyances for overland drainage, and public sidewalks shall not be calculated as impervious cover.

**Porch** – A roofed area, which may be screened, attached to or part of and with direct access to or from a structure and usually located on the front side of the structure, not to extend 50% of the front façade.

**Land use category** - A classification of uses as set forth in the use matrix (see key to use matrix for rules of interpretation)

**Landscaping** - The process or product of site development including grading, installation of plant materials and seeding of turf or ground cover.

**Lot** - A designated parcel or area of land established by plat to be used, developed, or built upon as a unit.

**Lot, corner** - A lot or parcel of land abutting upon two (2) or more streets at their intersection, or upon two (2) parts of the same street forming an interior angle of less than one hundred thirty-five (135) degrees.

**Lot depth** - The mean horizontal distance between the front and rear lot lines.  
Lot design standards - See § 35-515 of the UDC.

**Lot, reversed corner** - A corner lot, the rear of which abuts upon the side of another lot whether across an alley or not.

**Lot width** - The width of a lot at the front setback line.

**Lumens** – A unit used to measure the actual amount of visible light which is produced by a lamp as specified by the manufacturer. A unit of measure of the quantity of light that falls on an area of one square foot every point of which is one foot from the source of one candela. A light source of one candela emits a total of 12.57 lumens.

**Manufactured home or manufactured housing** - A HUD-code manufactured home. For purposes of the floodplain ordinance, a “manufactured home” means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term “manufactured home” does not include a “recreational vehicle”.

**Mass** - The size, height, symmetry and overall proportion of a structure in relation to the original style and/or to surrounding structures.

**Monument sign** – A freestanding sign supported primarily by an internal framework or integrated into landscaping or other solid structural features other than support poles.

**New construction** - For the purpose of determining insurance rates, structures for which the “start of construction” commenced on or after the effective date of an initial FIRM or after December 31, 1974, whichever is later, and includes any subsequent improvements to such structures. For floodplain management purposes, “new construction” means structures for which the “start of construction” commenced on or after the effective date of a floodplain management regulation adopted by a community and includes any subsequent improvements to such structures.

**New development** - Any new demand which increases the number of equivalent dwelling units including, but not limited to, the subdivision and/or resubdivision of land; the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land, any of which increases the number of equivalent dwelling units. [Commentary: The subdivision and/or resubdivision of land, the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land which does not increase the number of equivalent dwelling units is not considered new development and is not subject to payment of additional impact fees. However, the previous applicable impact fees must have been paid.]

**Nonconforming structure** - Any existing structure which was erected according to all applicable city ordinances at the time, but which does not now comply with all the regulations applicable to the district in which the structure is located.

**Ordinary repair and maintenance** - Any work, the purpose and effect of which is to correct any deterioration or decay of or damage to a building, object or structure or any part thereof and to restore the same, as nearly as may be practicable, to its condition prior to such deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.

**Ornamental cornices** - A horizontal molded projection that crowns or completes a building or wall.

**Overlay district** - A zoning district established by this chapter prescribing regulations to be applied to a site in combination with a base zoning district.

**Permit** - A license, certificate, approval, registration, consent, permit, or other form of authorization required by law, rule, regulation, order, or ordinance that a person must obtain to perform an action or initiate, continue, or complete a project for which the permit is sought. (Source: VTCA Local Government Code § 245.001). A “development permit” includes any of the following: a subdivision plat, a conditional use permit, a building permit, or a certificate of occupancy. A “development permit” does not include a certification of completeness, a letter of certification, an amendment to the text of this chapter, or a rezoning. A determination of property status, including but not limited to, utility availability, zoning, rights under Article VII of this chapter, etc., is not a permit.

**Permit rights** - The right of a property owner or developer to complete a project under the rules, regulations and ordinances in effect at the time the project was initiated through a permit as herein defined. When permit rights exist for property within the boundaries of a project, ordinances passed after the date the project is initiated shall not apply to the project except as specifically provided within this section.

**Pervious pavement** - A pavement system with traditional strength characteristics, but which allows rainfall to percolate through it rather than running off. A permeable pavement system utilizes either porous asphalt, pervious concrete, or plastic pavers interlaid in a running bond pattern and either pinned or interlocked in place. Porous asphalt consists of an open graded course aggregate held together by asphalt with sufficient interconnected voids to provide a high rate of permeability. Pervious concrete is a discontinuous mixture of Portland cement, coarse aggregate, admixtures, and water which allow for passage of runoff and air.

**Pitch** - The slope of a roof as determined by the vertical rise in inches for every horizontal twelve inch (12") length (called the "run"). Pitch is expressed with the rise mentioned first and the run mentioned second. For instance, a roof with a four inch (4") rise for every horizontal foot has a 4:12 pitch.

**Pedestrian walkway** – Any sidewalk or walkway that is intended and suitable for pedestrian use. Any paved public or private route intended for pedestrian use, including a bicycle/ pedestrian path regardless of use by other transportation.

**Porch** - A roofed area, which may be glazed or screened, attached to or part of and with direct access to or from a structure and usually located on the front or side of the structure.

**Principal building or principal structure** - A building or structure or, where the context so indicates, a group of buildings or structures, in which the principal use of a lot or parcel is conducted. This shall include any buildings which are attached to the principal structure by a covered structure.

**Principal dwelling** - A dwelling unit which constitutes the principal building or principal structure on a lot or parcel.

**Principal elevation** – The primary front façade area of the main structure; usually fronting or facing the public right-of-way (ROW).

**Principal structure** - See Principal building or principal structure.

**Property owner** - The person, entity, corporation, or partnership in whose name a certificate of occupancy issued, or the current owner of the property if a certificate of occupancy is no longer valid, or, if the current owner cannot be contacted after due diligence, the lessee/occupant of the property who is in apparent control of such property.

**Proportion:** The relationship of the size, shape, and location of a building element to all the other building elements.

**Proposed development** - The uses, structures, buildings, and/or other development proposed by an application for development approval.

**Public right-of-way** - A strip of land acquired by reservation, dedication, forced dedication, prescription, or condemnation and used or intended to be used, wholly or in part, as a public street, alley, walkway, drain or public utility line.

**Public right-of-way (2)** - An area or strip of land, either public or private, occupied or intended to be occupied by a street, walkway, railroad, utility line, drainage channel, or other similar uses.

**Quadruplexes** - See Dwelling four-family.

**Reconstruction** - The act or process of reassembling, reproducing, or replacing by new construction, the form, detail, and appearance of property and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or by reuse of original materials.

**Rehabilitation** - The act or process of returning a building, object, site, or structure to a state of utility through repair, remodeling, or alteration that makes possible an efficient contemporary use while preserving those portions or features of the building, object, site, or structure that are significant to its historical, architectural, and cultural values.

**Relocation** - Any change of the location of a building, object or structure in its present setting or to another setting.

**Residential development** - All areas zoned as "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40" or "MF-50", or otherwise zoned or devoted primarily to residential use, and shall include all other areas not zoned or used primarily for commercial or industrial use.

**Residential district or residential zoning district** - Any of the following zoning districts: "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40 or "MF-50".

**Residential driveway approach** - A driveway which provides access to property on which a single-family residence, duplex, or multifamily building containing five or fewer dwelling units is located.

**Residential property** - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for residential uses, i.e., for single family, duplex, three, or four family dwelling or more dwellings for the purposes of this zoning overlay plan only.

**Residential streets** - Street routes that provide access to local property owners and which connect property to the major thoroughfare or other collector street networks.

**Residential structure** - A single-family home, apartment house, townhouse, condominium or any type of dwelling unit.

**Right-of-way** - Property that is publicly owned or upon which a governmental entity has an express or implied property interest (e.g. fee title, easement, etc.) held for a public purpose. Examples of such public purpose include, by way of example and not limitation, a highway, a street, sidewalks, drainage facilities, sewerage and water facilities.

**Screen** - Vegetation, fence, wall, berm or a combination of any or all of these which partially or completely blocks the view of and provides spatial separation of a portion or all of a site from an adjacent property or right-of-way.

**Setback** - A line within a lot parallel to and measured from a corresponding lot line, establishing the minimum required yard and governing the placement of structures and uses on the lot.

**Side gabled** – locates the front door on the non-gabled façade.

**Side yard** - An area extending the depth of a lot from the front yard to the rear yard between the side lot line and the nearest principal structure.

**Sidewalk** - The portion of a municipal street between the curb lines or lateral lines of a roadway and the adjacent property lines that is improved and designed for or is ordinarily used for pedestrian travel. [Source: VTCA Transportation Code § 316.001]

**Single-family dwelling** - See Dwelling, one-family.

**Single-family residential development** - A development consisting of a lot or lots, containing only one dwelling unit. The dwelling unit may be detached or attached, townhouse, small lot, home, manufactured home, or mobile home.

**Site** - The location of a significant event, a prehistoric or historic occupation or activity, or a building, structure, or cluster, whether standing, ruined, or vanished, where the location itself maintains historical, architectural, archaeological, or cultural value regardless of the value of any existing structure.

**Story** - That part of a building between the surface of a floor and the ceiling immediately above.

**Street-facing façade** - That portion or portions of a wall of any permanent structure that is visible from and oriented parallel to a dedicated public right of way. For a structure that is not oriented parallel to the right of way, the street wall façade shall include all of the facades visible from the right of way and oriented at an angle greater than zero degrees but less than 60 degrees to the right of way.

**Streetscape** - The general appearance of a block or group of blocks with respect to the structures, setbacks from public rights-of-way, open space and the number and proportion of trees and other vegetation.

**Structure** - A walled and roofed building, including a gas or liquid storage tank, which is principally above ground, as well as a manufactured home.

**Substantial improvement** - Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before "start of construction" of the improvement. This includes structures which have incurred "repetitive loss" or "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary conditions or (2) Any alteration of a "historic structure," provided that the alteration will not preclude the structure's continued designation as a "historic structure."

**Subject property** - The property subject to an application for development approval.

**Substantial rehabilitation** - Certified improvements to a historic building in which the cost of the project is equal to or greater than fifty (50) percent of the appraised pre-rehabilitation improvement value of the property and which constitutes major work on enhancing existing mechanical or structural systems that preserve the historical integrity, while extending the life of the building.

**Stoop** – A small open porch or platform with steps leading up to the entrance of a building and may extend up to 6 feet from the front façade.

**Transparency percentage** – refers to the amount of surface area of a porch enclosure (walls or vertical surfaces) that must be constructed of transparent materials compared to the total surface area of the enclosure.

**Transparent** - Capable of transmitting light in a manner which permits a person standing outside of a building to view shapes, tones, and objects inside a building. A tinted window is considered "transparent" if it meets the requirements recited herein.

**Use** - The purpose for which land or structures thereon is designed, arranged or intended to be occupied or used, or for which it is occupied, maintained, rented or leased.

**Vertical/Height** – See Building height

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**Window** - An opening constructed in a wall and which admits light or air to an enclosure, is framed and spanned with glass, and which may be mounted to permit opening and closing.

**Yard** - An area on a lot between the lot line and the nearest principal structure, unoccupied and unobstructed by any portion of a structure from the ground upward, except as otherwise provided in the UDC.



# **APPENDIX C**

# **NEIGHBORHOOD CHARACTER MAPS**



Map Created By:  
Map Creation Date:  
PDF Filename:



# FUTURE LAND USE

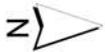
Woodlawn Lake Area  
Neighborhood Conservation District

CITY OF SAN ANTONIO



**Woodlawn Area FLU**

Color	Adopted Land Uses
Green	Parks/Open Space
Light Green	Public Institutional
Yellow	Urban Low Density Residential
Light Yellow	Medium Density Residential
Orange	Neighborhood Commercial
Red	Mixed Use
Dark Red	Community Commercial























# **APPENDIX D**

# **LISTING OF PROPERTY OWNERS**

Section 35-335(d)(2)© of the NCD Enabling Ordinance requires a listing of all property owners within the boundary area.

Property Owner	Property Address			
ABDEL QUADER IMAD	1905 CULEBRA RD	SAN ANTONIO	TX	78201
ABDO MARY J	2413 N ZARZAMORA	SAN ANTONIO	TX	78201
ABDO MARY J MRS	1706 W WOODLAWN	SAN ANTONIO	TX	78201
ABREGO MARGARITA	2046 W CRAIG PL	SAN ANTONIO	TX	78201
ACEVEDO ALBERT	1739 W CRAIG PL	SAN ANTONIO	TX	78201
ACEVEDO ALBERTO JR	1735 W CRAIG PL	SAN ANTONIO	TX	78201
ACEVEDO JESUS JR	1730 W CRAIG PL	SAN ANTONIO	TX	78201
ACEVEDO RAUL JR	942 CINCINNATI AVE	SAN ANTONIO	TX	78201
ACOSTA ESPERANZA M	1827 W FRENCH PL	SAN ANTONIO	TX	78201
ACOSTA JOSE A & DORA O & ALEJANDRA R ACOSTA	2707 W FRENCH PL	SAN ANTONIO	TX	78201
ACOSTA RAUL S & MARTHA	1932 W ASHBY PL	SAN ANTONIO	TX	78201
ACUNA PABLO A & ADRIANA	2827 W FRENCH PL	SAN ANTONIO	TX	78228
ADAMS SILVIA G SILVA	2810 W FRENCH PL	SAN ANTONIO	TX	78228
AE HOMES	1136 KENTUCKY AVE	SAN ANTONIO	TX	78201
AGUILAR ADAM & CHRISTINE ETAL	1843 TEXAS AVE	SAN ANTONIO	TX	78228
AGUILAR IRENE GARCIA & ANTONIO	1834 W FRENCH PL	SAN ANTONIO	TX	78201
AGUILAR LADISLADO & DORA E	2055 WAVERLY	SAN ANTONIO	TX	78228
AGUINAGA PATRICIA	2930 W ASHBY PL	SAN ANTONIO	TX	78228
AGUIRRE ALEJANDRO & MARIA	2007 N ELMENDORF	SAN ANTONIO	TX	78201
AGUIRRE RUDY & HORTENSA	1251 WAVERLY	SAN ANTONIO	TX	78201
ALAMOMETRO PROPERTIES LLC	3219 W ASHBY PL	SAN ANTONIO	TX	78228
ALANIZ JUAN J & MARIANA	1046 WAVERLY	SAN ANTONIO	TX	78201
ALDRETE MARIA ANGELES & JOE B JR	422 E BANDERA RD	SAN ANTONIO	TX	78228
ALEJANDRO ARNOLD & MARY L	442 E BANDERA RD	SAN ANTONIO	TX	78228
ALEJOS LYDIA	2001 TEXAS AVE	SAN ANTONIO	TX	78228
ALFARO FAMILY TRUST	1814 WAVERLY	SAN ANTONIO	TX	78201
ALFARO VICTOR R & MARIA R	1810 WAVERLY	SAN ANTONIO	TX	78201
ALSTON ALONZO & MARLON ANDERSON	926 TEXAS AVE	SAN ANTONIO	TX	78201
ALVARADO FRANCISCO & ALMA	1818 WAVERLY	SAN ANTONIO	TX	78201
ALVARADO IDA	1247 KENTUCKY AVE	SAN ANTONIO	TX	78201
ALVARADO JUAN & LINDA	1946 W ASHBY PL	SAN ANTONIO	TX	78201
ALVARADO LOUIS A & VALERIE J	1001 WAVERLY	SAN ANTONIO	TX	78201
ALVAREZ FLEX M JR	1842 W CRAIG PL	SAN ANTONIO	TX	78201
ALVAREZ JOSE LUIS & MARIA	1822 KENTUCKY AVE	SAN ANTONIO	TX	78201
ALVAREZ JUAN & ROSA M	1023 WAVERLY	SAN ANTONIO	TX	78201
ALVAREZ LISA A	1606 KENTUCKY AVE	SAN ANTONIO	TX	78201
ALVAREZ, ANDRES M & JUANITA R	218 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
AMARO JULIO S	1935 CINCINNATI AVE	SAN ANTONIO	TX	78228
AMAYA ODILIA CRUZ	1043 KENTUCKY AVE	SAN ANTONIO	TX	78201
ANGUIANO JUAN A & JANIE	1710 KENTUCKY AVE	SAN ANTONIO	TX	78201
APOLINAR MARGARET	1939 CINCINNATI AVE	SAN ANTONIO	TX	78228
ARANDA CARMEN C	2729 W CRAIG PL	SAN ANTONIO	TX	78228
ARCHDIOCESE OF SAN ANTONIO	3109 W FRENCH PL	SAN ANTONIO	TX	78228
ARCHER VICTOR L & MILDRED	1919 TEXAS AVE	SAN ANTONIO	TX	78228
ARCINIEGA JOE F	2039 CINCINNATI AVE	SAN ANTONIO	TX	78228
ARCOS ROY F	825 TEXAS AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address				
ARGUELLO JESUS M & YOLANDA	2923 W FRENCH PL	SAN ANTONIO	TX	78228	
ARIZMENDI MARY LOUISE	3212 W ASHBY PL	SAN ANTONIO	TX	78228	
AROCHA JUAN CARLOS F	1902 W CRAIG PL	SAN ANTONIO	TX	78201	
ARREOLA SALVADOR R	1218 WAVERLY	SAN ANTONIO	TX	78201	
ARREOLA SALVADOR R & ARREOLA MARIA MAGDALENA	1951 W ASHBY PL	SAN ANTONIO	TX	78201	
ARTEAGA REYNALDO & JOSEFINA	2047 WAVERLY	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	3016 W FRENCH PL	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	2836 W WOODLAWN	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	2836 W WOODLAWN	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	2836 W WOODLAWN	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	2600 W WOODLAWN	SAN ANTONIO	TX	78228	
ASSUMPTION SEMINARY	2706 W WOODLAWN	SAN ANTONIO	TX	78228	
AVALOS MIGUEL	1515 KENTUCKY AVE	SAN ANTONIO	TX	78201	
AVERY STEPHEN I & RITA C	2119 N ELMENDORF	SAN ANTONIO	TX	78201	
AYBAR LEONEL & DAISY	208 SAN ANTONIO AVE	SAN ANTONIO	TX	78201	
AYERS LOWELL F & SYLVIA	2623 W FRENCH PL	SAN ANTONIO	TX	78201	
AZUAJE RAFEAL & STELLA	1715 W CRAIG PL	SAN ANTONIO	TX	78201	
BAGLEY ALICE G & ROGER A	1718 W WOODLAWN	SAN ANTONIO	TX	78201	
BAJWA KULJINDER S	2423 N ZARZAMORA	SAN ANTONIO	TX	78201	
BANDA YESSICA Y	2946 W ASHBY PL	SAN ANTONIO	TX	78228	
BARAY EVELYN Z	1819 TEXAS AVE	SAN ANTONIO	TX	78228	
BARBOSA CARMEN G FAMILY PARTNERSHIP LTD	2021 TEXAS AVE	SAN ANTONIO	TX	78228	
BARNETTE PAUL W	2946 W FRENCH PL	SAN ANTONIO	TX	78228	
BARRANCO ARTURO A	1946 CINCINNATI AVE	SAN ANTONIO	TX	78228	
BARRERA FRED & WF	1818 W WOODLAWN	SAN ANTONIO	TX	78201	
BARRERA JAVIER & REYES DIANA M	1823 CULEBRA RD	SAN ANTONIO	TX	78201	
BARRERA RUBEN R & CARMEN M	1915 W CRAIG PL	SAN ANTONIO	TX	78201	
BARRIENTES PEARLA A & VICTOR D RODRIGUEZ	3220 W ASHBY PL	SAN ANTONIO	TX	78228	
BARRIENTES VANESSA E	1823 W FRENCH PL	SAN ANTONIO	TX	78201	
BARRIOS JORGE H & BARRIOS ENRIQUE	1129 CULEBRA RD	SAN ANTONIO	TX	78201	
BARROSO AARON D	930 TEXAS AVE	SAN ANTONIO	TX	78201	
BARTLETT CRAIG	2935 W ASHBY PL	SAN ANTONIO	TX	78228	
BEASLEY RICHARD L	1919 N ELMENDORF	SAN ANTONIO	TX	78201	
BEISSNER MARK	124 ST CLOUD ST	SAN ANTONIO	TX	78228	
BELFI INVESTMENT GROUP LLC	1601 WAVERLY	SAN ANTONIO	TX	78201	
BENAVIDES DAVID & JOSEPHINE	622 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201	
BENJAMIN JOSEPH C	1701 WAVERLY	SAN ANTONIO	TX	78201	
BENKE GERALDINE L & BETTY JO BAYER	1707 KENTUCKY AVE	SAN ANTONIO	TX	78201	
BERMEA ROGELIO	1802 W FRENCH PL	SAN ANTONIO	TX	78201	
BERTRAND NICK C & DIANE	1403 CULEBRA RD	SAN ANTONIO	TX	78201	
BETANCOURT JOEL	3232 W FRENCH PL 1	SAN ANTONIO	TX	78228	
BEXAR RENTAL PROPERTIES L P	1038 KENTUCKY AVE	SAN ANTONIO	TX	78201	
BHAGAT ANSUYA GOPAL	2015 CULEBRA RD	SAN ANTONIO	TX	78201	
BIRD RONALD C & CARLA	1406 TEXAS AVE	SAN ANTONIO	TX	78201	
BIRRUETA MANUEL C & MARIA	205 SAN ANTONIO AVE	SAN ANTONIO	TX	78201	
BLANCO CRISTOBAL & MARIA	1507 TEXAS AVE	SAN ANTONIO	TX	78201	
BLOHM LIVING TRUST	2701 W CRAIG PL	SAN ANTONIO	TX	78228	

Property Owner	Property Address			
BONO MARISA	2709 W CRAIG PL	SAN ANTONIO	TX	78228
BOOTH RESIDENCE SAN ANTONIO INC	W CINCINNATI AVE	SAN ANTONIO	TX	78201
BOTELLO ROGELIO V & ORALIA	2411 N ZARZAMORA	SAN ANTONIO	TX	78201
BRANHAM DAVID	3110 W FRENCH PL	SAN ANTONIO	TX	78228
BRIDGES LOUISE L & LEAL LOURDES ETAL	1507 CINCINNATI AVE	SAN ANTONIO	TX	78201
BRINK A M & AURELIA	2630 W ASHBY PL	SAN ANTONIO	TX	78201
BRISENO JOSE	1714 N HAMILTON AVE	SAN ANTONIO	TX	78201
BROWN SABRINA S	1807 WAVERLY	SAN ANTONIO	TX	78201
BRUN ALFONSO J & SONIA Y	2005 N ZARZAMORA	SAN ANTONIO	TX	78201
BURKS JANIE	851 TEXAS AVE	SAN ANTONIO	TX	78201
BURKS JIMMY D & CLEMENTINA	933 WAVERLY	SAN ANTONIO	TX	78201
BUTCHER MARIA L	1615 TEXAS AVE	SAN ANTONIO	TX	78201
CABRERA ADOLFO	2115 N ELMENDORF	SAN ANTONIO	TX	78201
CABRERA ADOLFO & ELVIRA R	2115 N ELMENDORF	SAN ANTONIO	TX	78201
CADENA DOROTHY MAXINE	1801 N HAMILTON AVE	SAN ANTONIO	TX	78201
CADENA HOMER JR & ANNIE A	1239 WAVERLY	SAN ANTONIO	TX	78201
CALDERON LAURA A	2007 W CRAIG PL	SAN ANTONIO	TX	78201
CALVO RICARDO T & JESSICA G REYNA	1846 TEXAS AVE	SAN ANTONIO	TX	78228
CAMPA RICARDO A	1905 TEXAS AVE	SAN ANTONIO	TX	78228
CAMPA RICARDO A	1901 TEXAS AVE	SAN ANTONIO	TX	78228
CAMPBELL FRANK D & JO NELL	2034 W WOODLAWN	SAN ANTONIO	TX	78201
CAMPOS ALICE L/E CHARLES & DIANE LUEVANO	3246 W ASHBY PL	SAN ANTONIO	TX	78228
CAMPOS PAUL & TRINIDAD	2515 W CRAIG PL	SAN ANTONIO	TX	78201
CAMPOS PHILIP & LUCILLE	2714 W CRAIG PL	SAN ANTONIO	TX	78228
CANTU GUILLERMO JR & BEATRIZ	1518 KENTUCKY AVE	SAN ANTONIO	TX	78201
CANTU ROBERT LOZANO	2942 W FRENCH PL	SAN ANTONIO	TX	78228
CANTU ROBERTO G & MARIA V	1051 WAVERLY	SAN ANTONIO	TX	78201
CAPRO INVESTMENTS LLC	408 PEACOCK	SAN ANTONIO	TX	78201
CARDENAS AURORA M	1524 CINCINNATI AVE	SAN ANTONIO	TX	78201
CARDENAS MARGARET S	1503 TEXAS AVE	SAN ANTONIO	TX	78201
CARDENAS MARY LAMB L/E CARDOSO REBECCA L	1615 CINCINNATI AVE	SAN ANTONIO	TX	78201
CARDONA JACINTO J & IRMA	1915 CINCINNATI AVE	SAN ANTONIO	TX	78228
CARMONA MARGARITA C c/o BRUCE ROBERTSON JR	2127 CINCINNATI AVE	SAN ANTONIO	TX	78228
CARMONA MARGARITA C c/o BRUCE ROBERTSON JR	2134 CINCINNATI AVE	SAN ANTONIO	TX	78228
CARMONA MARGARITA C c/o BRUCE ROBERTSON JR	2051 WAVERLY	SAN ANTONIO	TX	78228
CARMONA RAUL R	1830 W FRENCH PL	SAN ANTONIO	TX	78201
CARRANZA JANIE H	1935 W ASHBY PL	SAN ANTONIO	TX	78201
CARRION HECTOR R & ETAL c/o EDWARD CARRION	2018 W WOODLAWN	SAN ANTONIO	TX	78201
CASANOVA DAVID R	1609 KENTUCKY AVE	SAN ANTONIO	TX	78201
CASANOVA JOE R JR & BELEN Y	1303 KENTUCKY AVE	SAN ANTONIO	TX	78201
CASAREZ CARLOS & FLORENCE S	2014 TEXAS AVE	SAN ANTONIO	TX	78228
CASAREZ ROBERTO B & BASILIA	808 TEXAS AVE	SAN ANTONIO	TX	78201
CASIAS ANDRES	1844 W FRENCH PL	SAN ANTONIO	TX	78201
CASIAS THOMAS A & AUDREY	3116 W ASHBY PL	SAN ANTONIO	TX	78228
CASILLAS ABEL & CASILLAS RENE	1123 CULEBRA RD	SAN ANTONIO	TX	78201

Property Owner	Property Address			
CASILLAS JONAS CHARLES	910 TEXAS AVE	SAN ANTONIO	TX	78201
CASTANEDA HECTOR	1919 CINCINNATI AVE	SAN ANTONIO	TX	78228
CASTANEDA HECTOR N TRUST	1805 W CRAIG PL	SAN ANTONIO	TX	78201
CASTANEDA HECTOR N TRUST	1801 W CRAIG PL	SAN ANTONIO	TX	78201
CASTANO JULIA O	1840 W FRENCH PL	SAN ANTONIO	TX	78201
CASTELLANO ALFRED	1801 W FRENCH PL	SAN ANTONIO	TX	78201
CASTELLANO BERNARDO P & ESTELA	1142 WAVERLY	SAN ANTONIO	TX	78201
CASTELLANO JOSEPH A	1411 TEXAS AVE	SAN ANTONIO	TX	78201
CASTELLANOS ARTURO & MARIA G	1711 WAVERLY	SAN ANTONIO	TX	78201
CASTILLO ANTONIO S & LETICIA M	1042 TEXAS AVE	SAN ANTONIO	TX	78201
CASTILLO FRANK M & NORA V	2725 W CRAIG PL	SAN ANTONIO	TX	78228
CASTILLO JESSE & STELLA	250 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CASTILLO JESSE & STELLA	1610 TEXAS AVE	SAN ANTONIO	TX	78201
CASTILLO JESSE & STELLA	1024 CINCINNATI AVE	SAN ANTONIO	TX	78201
CASTILLO JESSE & STELLA D	311 WILSON	SAN ANTONIO	TX	78228
CASTILLO JESSE & STELLA D	3001 WILLIAMS AVE	SAN ANTONIO	TX	78201
CASTILLO JESSE & STELLA D	234 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CASTILLO JOEL & JULIETA	2402 W WOODLAWN	SAN ANTONIO	TX	78228
CASTILLO JOEL & JULIETA	2327 N ZARZAMORA	SAN ANTONIO	TX	78201
CASTILLO JOSE LUIS & MARIA ELIA	2123 CINCINNATI AVE	SAN ANTONIO	TX	78228
CASTILLON DOLORES M	430 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CASTRO AURORA G	3106 W FRENCH PL	SAN ANTONIO	TX	78228
CASTRO JACQUELINE A & AURORA G CASTRO	3108 W FRENCH PL	SAN ANTONIO	TX	78228
CAVAZOS BALDOMERO JR	2003 CULEBRA RD	SAN ANTONIO	TX	78201
CAZARES IGNACIO JR	1235 WAVERLY	SAN ANTONIO	TX	78201
CELIS GEORGE	2211 CINCINNATI AVE	SAN ANTONIO	TX	78228
CERNA GERALD & NORMA	1938 W WOODLAWN	SAN ANTONIO	TX	78201
CERVANTES JAVIER	1206 WAVERLY	SAN ANTONIO	TX	78201
CERVANTES JUAN A & NORA C	3212 W FRENCH PL	SAN ANTONIO	TX	78228
CERVANTES MICHAEL RAY	3238 W ASHBY PL	SAN ANTONIO	TX	78228
CHAPA GLORIA D EMETERIA	1407 KENTUCKY AVE	SAN ANTONIO	TX	78201
CHARLES JOE & RITA RAMIREZ	1618 WAVERLY	SAN ANTONIO	TX	78201
CHAVEZ CONSUELO F	1914 CINCINNATI AVE	SAN ANTONIO	TX	78228
CHAVEZ GLORIA	1503 KENTUCKY AVE	SAN ANTONIO	TX	78201
CHAVEZ GUADALUPE	1510 KENTUCKY AVE	SAN ANTONIO	TX	78201
CHAVEZ JOE R & M GUADALUPE	2039 WAVERLY	SAN ANTONIO	TX	78228
CHAVIRA REBECCA	1323 WAVERLY	SAN ANTONIO	TX	78201
CHELSEA INVESTMENTS LLC	1840 TEXAS AVE	SAN ANTONIO	TX	78228
CHINCANCHAN BEZALEEL	319 GLENMORE	SAN ANTONIO	TX	78201
CIGARROA JOSE A & KIM N	3305 W ASHBY PL	SAN ANTONIO	TX	78228
CINCINNATI BUILDING LLC	1000 CINCINNATI AVE	SAN ANTONIO	TX	78201
CINCINNATI BUILDING LLC	CINCINNATI AVE	SAN ANTONIO	TX	78201
CINCINNATI BUILDING LLC ATT: RAMON CHARLES S	1000 CINCINNATI AVE	SAN ANTONIO	TX	78201
CIRILLI GUERINO	1746 W WOODLAWN	SAN ANTONIO	TX	78201
CIRILLI GUERINO	1746 W WOODLAWN	SAN ANTONIO	TX	78201

Property Owner	Property Address			
CITY OF SAN ANTONIO	GOODRICH AVE	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	ALEXANDER	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	2034 WAVERLY	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	1954 KENTUCKY AVE	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	138 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	1107 CULEBRA RD	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	1103 CINCINNATI AVE	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	1035 WAVERLY	SAN ANTONIO	TX	78201
CITY OF SAN ANTONIO	1015 CINCINNATI AVE	SAN ANTONIO	TX	78201
CLYDE JACOB	2618 W ASHBY PL	SAN ANTONIO	TX	78201
COLLADO ARGELIA D EST OF	2014 W WOODLAWN	SAN ANTONIO	TX	78201
COLLAZO ESTHER N	1731 W CRAIG PL	SAN ANTONIO	TX	78201
CONDE ESTHER R & ZARAGOZA R FORE	3249 W ASHBY PL	SAN ANTONIO	TX	78228
CONGREGACION VIDA NUEVA	1323 KENTUCKY AVE	SAN ANTONIO	TX	78201
CONTRERAS FLORENTINO & ROSA	922 TEXAS AVE	SAN ANTONIO	TX	78201
CONTRERAS FLORENTINO & ROSA	918 TEXAS AVE	SAN ANTONIO	TX	78201
CORDOVA RAFAEL S	1847 TEXAS AVE	SAN ANTONIO	TX	78228
CORNELIUS JOHN HENRY	1947 TEXAS AVE	SAN ANTONIO	TX	78228
CORONA LIDIA L	1127 KENTUCKY AVE	SAN ANTONIO	TX	78201
CORONADO ROGACIANO M & DIANA D	1302 KENTUCKY AVE	SAN ANTONIO	TX	78201
CORREA IRMA V	1724 W CRAIG PL	SAN ANTONIO	TX	78201
CORREA IRMA V	1718 W CRAIG PL	SAN ANTONIO	TX	78201
CORTEZ HENRY	1027 WAVERLY	SAN ANTONIO	TX	78201
CORTINAS LOUIS C & ALICE	2706 W CRAIG PL	SAN ANTONIO	TX	78228
COULTRESS ISABEL NAVARRO	1915 WAVERLY	SAN ANTONIO	TX	78228
COUSINS STEPHENIA A	1826 W FRENCH PL	SAN ANTONIO	TX	78201
COX REBECCA & CYNTHIA LYNNE	1803 WAVERLY	SAN ANTONIO	TX	78201
COX TRUMAN E & DARLYNE D	2060 W WOODLAWN	SAN ANTONIO	TX	78201
CROUCH YOLANDA	932 WAVERLY	SAN ANTONIO	TX	78201
CRUZ BETTY J	1938 TEXAS AVE	SAN ANTONIO	TX	78228
CRUZ DAVID Z	1802 WAVERLY	SAN ANTONIO	TX	78201
CUELLAR JACOB & ISABEL	111 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CUEVA MARIA DE JESUS	1226 KENTUCKY AVE	SAN ANTONIO	TX	78201
CUEVAS CYNTHIA	1339 CULEBRA RD	SAN ANTONIO	TX	78201
CURIEL MARY G	1806 KENTUCKY AVE	SAN ANTONIO	TX	78201
CURRIE LIVING TRUST	155 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
CUSTODY OF OUR LADY OF GUADALUPE INC	1118 KENTUCKY AVE	SAN ANTONIO	TX	78201
CUSTODY OF OUR LADY OF GUADALUPE INC	1104 KENTUCKY AVE	SAN ANTONIO	TX	78201
D & L PROPERTIES	1621 CULEBRA RD	SAN ANTONIO	TX	78201
DALLO DEBORAH AIDE	1110 WAVERLY	SAN ANTONIO	TX	78201
DALLO JOSE F & DEBORAH A	1420 KENTUCKY AVE	SAN ANTONIO	TX	78201
DAVALOS & ASSOC INC	1948 KENTUCKY AVE	SAN ANTONIO	TX	78228
DAVALOS & ASSOC INC	1940 KENTUCKY AVE	SAN ANTONIO	TX	78228
DAVALOS PAUL E	939 WAVERLY	SAN ANTONIO	TX	78201
DAVALOS PAUL E	1019 WAVERLY	SAN ANTONIO	TX	78201

Property Owner	Property Address			
DAVILA MICHAEL W	2424 W WOODLAWN	SAN ANTONIO	TX	78228
DAVILA MICHAEL W	2418 W WOODLAWN	SAN ANTONIO	TX	78228
DAVILA RAQUEL M & RODRIGUEZ JULIA R, ARTUR U	2510 W WOODLAWN	SAN ANTONIO	TX	78228
DAVILA VANESSA	1236 WAVERLY	SAN ANTONIO	TX	78201
DAVIS RICKEY	2846 W FRENCH PL	SAN ANTONIO	TX	78228
DE LA GARZA LORENZO & CANDALARIA	1942 CINCINNATI AVE	SAN ANTONIO	TX	78228
DE LA ROSA GILBERTO A & ISIDRA	1415 TEXAS AVE	SAN ANTONIO	TX	78201
DE LUNA HERMINIA	2634 W CRAIG PL	SAN ANTONIO	TX	78228
DELA GARZA LORENZO R & CANDELARIA	2915 W ASHBY PL	SAN ANTONIO	TX	78228
DELA0RUZ MARIA I L/E PATRICIA D MALDONADO	1231 KENTUCKY AVE	SAN ANTONIO	TX	78201
DELACRUZ MARY MARGARET	2504 W CRAIG PL	SAN ANTONIO	TX	78201
DELAGARZA OSVALDO & LETICIA	206 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
DELAGARZA RACHEL & MALDONADO ROBERT	1522 TEXAS AVE	SAN ANTONIO	TX	78201
DELAGARZA SERVANDO & AMELIA	2719 W FRENCH PL	SAN ANTONIO	TX	78201
DELAHAYA CHRISTINA & DELAHAYA THERESA	2038 W WOODLAWN	SAN ANTONIO	TX	78201
DELEON DAVID	935 WAVERLY	SAN ANTONIO	TX	78201
DELEON ROSA JEANETTE	502 GERMANIA ST	SAN ANTONIO	TX	78228
DELGADO BENITO JR VERA M DELGADO L/E	814 TEXAS AVE	SAN ANTONIO	TX	78201
DELGADO ROGELIO & MAMIE G	902 WAVERLY	SAN ANTONIO	TX	78201
DELOSSANTOS PEDRO	121 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
DELOSSANTOS ROLAND R & IRENE C	2558 W WOODLAWN	SAN ANTONIO	TX	78228
DENA JOSE DANIEL & NORMA	923 CINCINNATI AVE	SAN ANTONIO	TX	78201
DEVALOS JOE G & JOSIE V	1722 TEXAS AVE	SAN ANTONIO	TX	78201
DEWO LLC	2119 CULEBRA RD	SAN ANTONIO	TX	78228
DIAB AHED YOUSEF & MAYADA	955 CINCINNATI AVE	SAN ANTONIO	TX	78201
DIAZ ALMA LEONOR & BOBBY MARTINEZ	1410 KENTUCKY AVE	SAN ANTONIO	TX	78201
DIAZ ANTONIO & JESUSITA	1818 W FRENCH PL	SAN ANTONIO	TX	78201
DIAZ AURORA A	2028 WAVERLY	SAN ANTONIO	TX	78228
DIAZ GLORIA C	2115 CINCINNATI AVE	SAN ANTONIO	TX	78228
DIAZ GLORIA G & JOANN	1714 CINCINNATI AVE	SAN ANTONIO	TX	78201
DIEBEL SHAWN & BRENDA	2115 N ELMENDORF	SAN ANTONIO	TX	78201
DISCALCED CARMELITE FATHERS- LITTLE FLOWER	905 KENTUCKY AVE	SAN ANTONIO	TX	78201
DISCALCED CARMELITE FATHERS OF SAN ANTONIO	926 WAVERLY	SAN ANTONIO	TX	78201
DISCALCED CARMELITE FATHERS OF SAN ANTONIO	950 WAVERLY	SAN ANTONIO	TX	78201
DISCALCED CARMELITE FATHERS- OUR LADY OF MT	1715 N ZARZAMORA	SAN ANTONIO	TX	78201
DISCALCED CARMLITE FATHERS OF SAN ANTONIO	1111 CULEBRA RD	SAN ANTONIO	TX	78201
DISCALCED FATHERS OF S A	1119 CULEBRA RD	SAN ANTONIO	TX	78201
DIVINE REDEEMER UNITED PRESBYTERIAN CHURCH	2947 W FRENCH PL	SAN ANTONIO	TX	78228
DOLAN KEVIN F & VICTORIA G	2919 W ASHBY PL	SAN ANTONIO	TX	78228
DOMINGUEZ JOSE D	1015 WAVERLY	SAN ANTONIO	TX	78201
DOUGLAS ARMANDINA	1716 W CRAIG PL	SAN ANTONIO	TX	78201
DOVALINA MIGUEL ANGEL & OLGA V	1721 KENTUCKY AVE	SAN ANTONIO	TX	78201
DOWNING ROBERT F & LYDIA V	2022 CINCINNATI AVE	SAN ANTONIO	TX	78228
DREAM HOME RENOVATORS LLC	2325 N ELMENDORF	SAN ANTONIO	TX	78201
DULANEY CARMEN M	3032 W ASHBY PL	SAN ANTONIO	TX	78228

Property Owner	Property Address			
DURAN BONIFACIO & MARTHA A	1314 KENTUCKY AVE	SAN ANTONIO	TX	78201
DURAN FAMILY LIMITED PARTNERSHIP	1706 W CRAIG PL	SAN ANTONIO	TX	78201
EDEN RITA V	1939 TEXAS AVE	SAN ANTONIO	TX	78228
EGAN MIKE O & MARIA DE JESUS	930 CINCINNATI AVE	SAN ANTONIO	TX	78201
EHRlich GLORIA ETAL	1912 KENTUCKY AVE	SAN ANTONIO	TX	78228
ELIZONDO IGNACIO F & GENOVEVA	1603 KENTUCKY AVE	SAN ANTONIO	TX	78201
ELIZONDO LISA ANN	1901 W CRAIG PL	SAN ANTONIO	TX	78201
ELIZONDO ROBERT A & ALICE L	1843 W CRAIG PL	SAN ANTONIO	TX	78201
ELIZONDO VIRGILIO	2027 W FRENCH PL	SAN ANTONIO	TX	78201
ELIZONDO WILLIAM R	2219 CINCINNATI AVE	SAN ANTONIO	TX	78228
ENG ROBERT & F K C	1708 W CRAIG PL	SAN ANTONIO	TX	78201
ENTRUST IRA ADMINISTRATION LLC	2028 W WOODLAWN	SAN ANTONIO	TX	78201
EPSTEIN MEYER EST OF c/o JEROME EPSTEIN ET AL	1016 KENTUCKY AVE	SAN ANTONIO	TX	78201
EPSTEIN MEYER EST OF c/o JEROME EPSTEIN ET AL	1014 KENTUCKY AVE	SAN ANTONIO	TX	78201
ESCALERA ARMANDO P	1910 W WOODLAWN	SAN ANTONIO	TX	78201
ESCOBEDO DOLORES M	2508 W CRAIG PL	SAN ANTONIO	TX	78201
ESCOBEDO JOSE F J & BERTHA	1221 KENTUCKY AVE	SAN ANTONIO	TX	78201
ESPINOZA ORALIA V	1931 W ASHBY PL	SAN ANTONIO	TX	78201
ESQUIVEL ERNEST & YOLANDA	1607 WAVERLY	SAN ANTONIO	TX	78201
ESSEX KATHLEEN J	2627 W CRAIG PL	SAN ANTONIO	TX	78228
ESTEBAN NELVIN A & JESSICA	1238 WAVERLY	SAN ANTONIO	TX	78201
ESTRADA AMADOR REY SR	2923 W ASHBY PL	SAN ANTONIO	TX	78228
ESTRADA CYNTHIA	1047 WAVERLY	SAN ANTONIO	TX	78201
ESTRADA FELIPE	1419 TEXAS AVE	SAN ANTONIO	TX	78201
ESTRADA TOMAS P & GUADALUPE	1922 W WOODLAWN	SAN ANTONIO	TX	78201
ESTRADA YOLANDA H	1521 CINCINNATI AVE	SAN ANTONIO	TX	78201
ESTRELLO ANTONIO & FRANCES	2303 W CRAIG PL	SAN ANTONIO	TX	78201
ET 1540 LLC c/o WEBER MARK	220 ALEXANDER	SAN ANTONIO	TX	78201
E-Z WASH INC	1818 CINCINNATI AVE	SAN ANTONIO	TX	78201
FARIAS DIANA PEREZ	2023 WAVERLY	SAN ANTONIO	TX	78228
FELAN JOSE & MARIA D	1311 KENTUCKY AVE	SAN ANTONIO	TX	78201
FERMIN LORENA P	1934 W CRAIG PL	SAN ANTONIO	TX	78201
FERNANDEZ ARTHUR	1406 KENTUCKY AVE	SAN ANTONIO	TX	78201
FERNANDEZ ARTHUR JR	1402 KENTUCKY AVE	SAN ANTONIO	TX	78201
FERNANDEZ DAVID G & GREGORY & LISA	3231 W ASHBY PL	SAN ANTONIO	TX	78228
FERNANDEZ JESSE DANIEL	3102 W FRENCH PL	SAN ANTONIO	TX	78228
FERNANDEZ RALPH & GUADALUPE	2405 N ELMENDORF	SAN ANTONIO	TX	78201
FERNANDEZ ROGER & JESSE DANIEL	3225 W ASHBY PL	SAN ANTONIO	TX	78228
FERNANDEZ RUDY C	2409 W CRAIG PL	SAN ANTONIO	TX	78201
FERNANDEZ SANDRA T	2843 W FRENCH PL	SAN ANTONIO	TX	78228
FERRAN ROSALIE L	1501 CINCINNATI AVE	SAN ANTONIO	TX	78201
FIGUEROA JUAN R	1910 CINCINNATI AVE	SAN ANTONIO	TX	78228
FLORES ALFREDO JR & LISA GONZALES	1926 TEXAS AVE	SAN ANTONIO	TX	78228
FLORES ANGELITA M	1122 KENTUCKY AVE	SAN ANTONIO	TX	78201
FLORES BERNABE G JR	1802 TEXAS AVE	SAN ANTONIO	TX	78228

Property Owner	Property Address			
FLORES BERNABE G JR	1806 TEXAS AVE	SAN ANTONIO	TX	78228
FLORES GREGORIO C & JESUSA R PENA	2603 W CRAIG PL	SAN ANTONIO	TX	78228
FLORES HONORIO C & JUANA R MENDEZ	1927 W ASHBY PL	SAN ANTONIO	TX	78201
FLORES HUMBERTO & LYDIA M	2235 CINCINNATI AVE	SAN ANTONIO	TX	78228
FLORES HUMBERTO R & IRMA	1947 CINCINNATI AVE	SAN ANTONIO	TX	78228
FLORES JESUS M & ELODIA M	1812 W WOODLAWN	SAN ANTONIO	TX	78201
FLORES JOSE G & REBECA P	1819 W FRENCH PL	SAN ANTONIO	TX	78201
FLORES JOSEPHINE	1710 WAVERLY	SAN ANTONIO	TX	78201
FLORES JUAN I	2037 TEXAS AVE	SAN ANTONIO	TX	78228
FLORES JUAN I	710 WILSON	SAN ANTONIO	TX	78201
FLORES JUAN R	1207 WAVERLY	SAN ANTONIO	TX	78201
FLORES JUANITA GARZA ET AL	2947 W ASHBY PL	SAN ANTONIO	TX	78228
FLORES MARK	1219 WAVERLY	SAN ANTONIO	TX	78201
FLORES OSWALD G & TOMASA G L/E	1230 KENTUCKY AVE	SAN ANTONIO	TX	78201
FLORES PATRICK F	3126 W ASHBY PL	SAN ANTONIO	TX	78228
FLORES WENCESLAO B & DELIA	1502 KENTUCKY AVE	SAN ANTONIO	TX	78201
FONSECA MERCEDES M	1938 W ASHBY PL	SAN ANTONIO	TX	78201
FONSECA MIGUEL A	2402 W CRAIG PL	SAN ANTONIO	TX	78201
FRANCESCO PHILIP	2835 W FRENCH PL	SAN ANTONIO	TX	78228
FREEMAN HENRIETTA & FREEMAN ROBERT	2316 W CRAIG PL	SAN ANTONIO	TX	78201
FREEMAN JOHN C & SYLVIA MORENO	701 ROUSE	SAN ANTONIO	TX	78201
FRETZ DAVID L	1922 W ASHBY PL	SAN ANTONIO	TX	78201
FUENTES MARY	2031 CINCINNATI AVE	SAN ANTONIO	TX	78228
FUNARI JUAN R & EULOGIA	1943 W ASHBY PL	SAN ANTONIO	TX	78201
FURMAN PROPERTIES INC	1943 CINCINNATI AVE	SAN ANTONIO	TX	78228
GALAVIZ LIBRADO I & JUANITA	914 CINCINNATI AVE	SAN ANTONIO	TX	78201
GALINDO NINO C & FELIPA	602 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GALINDO NINO C & FELIPE G	2525 W FRENCH PL	SAN ANTONIO	TX	78201
GALLARDO DIANA	1131 KENTUCKY AVE	SAN ANTONIO	TX	78201
GALLARDO MANUEL C SR & EST OF MARGARITA G VEGA	1923 W FRENCH PL	SAN ANTONIO	TX	78201
GALLEGOS FERNANDO	1750 W CRAIG PL	SAN ANTONIO	TX	78201
GALLEGOS MANDI	1725 W CRAIG PL	SAN ANTONIO	TX	78201
GALVAN EMMETT B & MARY ALICE	2710 W CRAIG PL	SAN ANTONIO	TX	78228
GALVAN JOHN R & ANNA C	2718 W CRAIG PL	SAN ANTONIO	TX	78228
GALVAN LUIS A & MARIA E	1831 TEXAS AVE	SAN ANTONIO	TX	78228
GALVAN OLINDA E	2020 WAVERLY	SAN ANTONIO	TX	78228
GALVAN VICTORIA R	1906 TEXAS AVE	SAN ANTONIO	TX	78228
GAMBOA PAUL J & PETRA	918 CINCINNATI AVE	SAN ANTONIO	TX	78201
GAMEZ AURELIO G & YOLANDA	2015 W CRAIG PL	SAN ANTONIO	TX	78201
GAMEZ AURELIO GUILLERMO	1919 W CRAIG PL	SAN ANTONIO	TX	78201
GAONA CESAR V	1719 W CRAIG PL	SAN ANTONIO	TX	78201
GARAY JOE C & NORMA J	1814 W FRENCH PL	SAN ANTONIO	TX	78201
GARCIA ALFONSO & MARIA C	1917 WAVERLY	SAN ANTONIO	TX	78228
GARCIA ALFONSO D & SYLVIA	1709 TEXAS AVE	SAN ANTONIO	TX	78201
GARCIA ANGEL G & GUADALUPE	1941 WAVERLY	SAN ANTONIO	TX	78228

Property Owner	Property Address			
GARCIA ARMANDO JR	1836 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA ARMANDO JR	1836 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA BARBARA ANN	1611 KENTUCKY AVE	SAN ANTONIO	TX	78201
GARCIA BEATRIZ A & MARIA C	1928 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA BEATRIZ S	2831 W FRENCH PL	SAN ANTONIO	TX	78228
GARCIA CARLOS GONGORA	1926 W ASHBY PL	SAN ANTONIO	TX	78201
GARCIA DAVID C	1910 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA ELVIRA	911 TEXAS AVE	SAN ANTONIO	TX	78201
GARCIA ESTEPHAN	3237 W ASHBY PL	SAN ANTONIO	TX	78228
GARCIA FREDERICK P & HELEN D	2927 W ASHBY PL	SAN ANTONIO	TX	78228
GARCIA FREDERICK P JR & CRAIG BARTLETT	2626 W CRAIG PL	SAN ANTONIO	TX	78228
GARCIA FREDERICK P JR & CRAIG BARTLETT	2943 W ASHBY PL	SAN ANTONIO	TX	78228
GARCIA FREDERICK P SR & FREDERICK P JR	2822 W FRENCH PL	SAN ANTONIO	TX	78228
GARCIA HENRY A JR & ROXANNA	2938 W FRENCH PL	SAN ANTONIO	TX	78228
GARCIA HENRY H & MARIA I	1738 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA JANE S	125 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GARCIA JOE R III & MARIA	2001 N ZARZAMORA	SAN ANTONIO	TX	78201
GARCIA JORGE	1705 N ELMENDORF	SAN ANTONIO	TX	78201
GARCIA JULIO SR L/E GARCIA JULIO SR	2619 W CRAIG PL	SAN ANTONIO	TX	78228
GARCIA MARGARET C EST OF c/o NORMA L MARTINEZ	1827 TEXAS AVE	SAN ANTONIO	TX	78228
GARCIA MARIA VICTORIA & ADAN	1123 KENTUCKY AVE	SAN ANTONIO	TX	78201
GARCIA MARY P	1510 CINCINNATI AVE	SAN ANTONIO	TX	78201
GARCIA MOSES M	1214 TEXAS AVE	SAN ANTONIO	TX	78201
GARCIA PEDRO C & ERNESTINE	1939 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA RICHARD & PATSY	1918 W WOODLAWN	SAN ANTONIO	TX	78201
GARCIA RICHARD & SUSAN	1915 W ASHBY PL	SAN ANTONIO	TX	78201
GARCIA ROBERTO U & EDNA G	2002 TEXAS AVE	SAN ANTONIO	TX	78228
GARCIA RODOLFO JR EST OF c/o GARCIA GLORIA H &	2013 WAVERLY	SAN ANTONIO	TX	78228
GARCIA SAMUEL	817 TEXAS AVE	SAN ANTONIO	TX	78201
GARCIA STEPHEN C & ALMA C	1915 N HAMILTON AVE	SAN ANTONIO	TX	78201
GARCIA STEPHEN C & ALMA C	1850 W FRENCH PL	SAN ANTONIO	TX	78201
GARCIA TAMMY & LOUIS	210 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GARCIA TILLIE	2511 W CRAIG PL	SAN ANTONIO	TX	78201
GARCIA VELIA ALMENDAREZ	2741 W CRAIG PL	SAN ANTONIO	TX	78228
GARRICK RICHARD C III	1525 CINCINNATI AVE	SAN ANTONIO	TX	78201
GARZA ANTONIO JR & CAROLINA	1603 CINCINNATI AVE	SAN ANTONIO	TX	78201
GARZA ANTONIO S	1714 W CRAIG PL	SAN ANTONIO	TX	78201
GARZA ARMANDINA	1718 CINCINNATI AVE	SAN ANTONIO	TX	78201
GARZA AURORA	1418 WAVERLY	SAN ANTONIO	TX	78201
GARZA CARLOS JAVIER & MARIA E	2018 CINCINNATI AVE	SAN ANTONIO	TX	78228
GARZA DANIEL	1213 KENTUCKY AVE	SAN ANTONIO	TX	78201
GARZA ELENA C	927 WAVERLY	SAN ANTONIO	TX	78201
GARZA ELMA JEAN	1906 W CRAIG PL	SAN ANTONIO	TX	78201
GARZA ESTHER	1720 KENTUCKY AVE	SAN ANTONIO	TX	78201
GARZA GRACIELA G	1331 CULEBRA RD	SAN ANTONIO	TX	78201

Property Owner	Property Address			
GARZA HELEN T	2742 W CRAIG PL	SAN ANTONIO	TX	78228
GARZA HERBERT	1511 CINCINNATI AVE	SAN ANTONIO	TX	78201
GARZA JESSE	1954 TEXAS AVE	SAN ANTONIO	TX	78228
GARZA JOHN A & SHIRLEY A	2146 CINCINNATI AVE	SAN ANTONIO	TX	78228
GARZA JOHN A & SHIRLEY I	2148 CINCINNATI AVE	SAN ANTONIO	TX	78228
GARZA JOHN A & SHIRLEY I	2206 CINCINNATI AVE	SAN ANTONIO	TX	78228
GARZA JUAN REYNALDO EST OF	1239 CULEBRA RD	SAN ANTONIO	TX	78201
GARZA KATHLEEN M	1235 CULEBRA RD	SAN ANTONIO	TX	78201
GARZA LUIS P & MARIA V	103 EMORY	SAN ANTONIO	TX	78228
GARZA MARY L	1943 TEXAS AVE	SAN ANTONIO	TX	78228
GARZA NOE G & VIRGINIA A	2017 WAVERLY	SAN ANTONIO	TX	78228
GARZA RAQUEL	1749 W CRAIG PL	SAN ANTONIO	TX	78201
GARZA RICARDO E JR & NORMA G	3015 W ASHBY PL	SAN ANTONIO	TX	78228
GARZA ROBERT & SYLVIA J	1823 KENTUCKY AVE	SAN ANTONIO	TX	78201
GARZA ROSE MARIE F	1706 TEXAS AVE	SAN ANTONIO	TX	78201
GARZA VERONICA	706 WILSON	SAN ANTONIO	TX	78201
GASCA BALTAZAR G	1135 KENTUCKY AVE	SAN ANTONIO	TX	78201
GEE MAE	948 CINCINNATI AVE	SAN ANTONIO	TX	78201
GEE MAE	944 CINCINNATI AVE	SAN ANTONIO	TX	78201
GIL REYES R & SIMONA L	938 WAVERLY	SAN ANTONIO	TX	78201
GILLIS PATRICIA ANN	2323 N ELMENDORF	SAN ANTONIO	TX	78201
GODINA NICK V & LEANDRA	1303 WAVERLY	SAN ANTONIO	TX	78201
GODOY MARK STANLEY	1934 TEXAS AVE	SAN ANTONIO	TX	78228
GODSEY JAMES III ETAL	1623 CINCINNATI AVE	SAN ANTONIO	TX	78201
GOMEZ CARMEN L	1828 W CRAIG PL	SAN ANTONIO	TX	78201
GOMEZ ELIZABETH R & RUBEN Q	1844 W WOODLAWN	SAN ANTONIO	TX	78201
GOMEZ GONZALO A JR	2126 CINCINNATI AVE	SAN ANTONIO	TX	78228
GOMEZ HERVEY & ENRIQUETA	2035 WAVERLY	SAN ANTONIO	TX	78228
GOMEZ JOSE H ARCHBISHOP c/o ARCHDIOCESE OF SA	3205 W FRENCH PL	SAN ANTONIO	TX	78228
GOMEZ JOSE H ARCHBISHOP c/o ARCHDIOCESE OF SA	3219 W FRENCH PL 1	SAN ANTONIO	TX	78228
GOMEZ JOSE H ARCHBISHOP c/o ARCHDIOCESE OF SA	3219 W FRENCH PL	SAN ANTONIO	TX	78228
GOMEZ JOSE H ARCHBISHOP c/o ARCHDIOCESE OF SA	3211 W FRENCH PL	SAN ANTONIO	TX	78228
GOMEZ LEO Q	2034 CINCINNATI AVE	SAN ANTONIO	TX	78228
GOMEZ LYDIA NORIEGA	1910 W ASHBY PL	SAN ANTONIO	TX	78201
GOMEZ MARIA C/S DAVID & ELOISA G MARTINEZ	2015 CINCINNATI AVE	SAN ANTONIO	TX	78228
GOMEZ MIGUEL & ALEIDA G	2503 W CRAIG PL	SAN ANTONIO	TX	78201
GOMEZ MIGUEL O	2024 W WOODLAWN	SAN ANTONIO	TX	78201
GOMEZ RAFAEL T JR & ESTELA	1927 TEXAS AVE	SAN ANTONIO	TX	78228
GOMEZ SANTOS & LAURA MONICA	2003 N ELMENDORF	SAN ANTONIO	TX	78201
GOMEZ VICTOR G III & RITA A	2939 W ASHBY PL	SAN ANTONIO	TX	78228
GONZALES ALFRED & GLORIA F	2101 CINCINNATI AVE	SAN ANTONIO	TX	78228
GONZALES ALFREDO R & CONCEPCION N	1738 W WOODLAWN	SAN ANTONIO	TX	78201
GONZALES CECILIA T	1933 WAVERLY	SAN ANTONIO	TX	78228
GONZALES CONNIE C & DAVID SOTO	1842 W WOODLAWN	SAN ANTONIO	TX	78201
GONZALES ELPIDIA G & ABELARDO M JR & BERTA	1806 WAVERLY	SAN ANTONIO	TX	78201

Property Owner	Property Address			
GONZALES EMMA B	1205 KENTUCKY AVE	SAN ANTONIO	TX	78201
GONZALES ESTELLA B	1411 WAVERLY	SAN ANTONIO	TX	78201
GONZALES GILBERT & CONSUELO	1218 TEXAS AVE	SAN ANTONIO	TX	78201
GONZALES GILBERT A & CONSUELO C	710 ADAES	SAN ANTONIO	TX	78201
GONZALES HENRY G & CONCEPCION	2321 N ELMENDORF	SAN ANTONIO	TX	78201
GONZALES JOE C JR	1915 W ASHBY PL	SAN ANTONIO	TX	78201
GONZALES JULIA J	1923 W ASHBY PL	SAN ANTONIO	TX	78201
GONZALES MARIANA V	1519 WAVERLY	SAN ANTONIO	TX	78201
GONZALES NORMA M	3022 W ASHBY PL	SAN ANTONIO	TX	78228
GONZALES RAY	2027 W CRAIG PL	SAN ANTONIO	TX	78201
GONZALES REBECCA ROSE	214 ALEXANDER	SAN ANTONIO	TX	78201
GONZALES SYLVIA ANN	214 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GONZALEZ AGUSTIN G & MARY	2417 W CRAIG PL	SAN ANTONIO	TX	78201
GONZALEZ CARLOS & DOLORES FLORES GONZALEZ	1810 W WOODLAWN	SAN ANTONIO	TX	78201
GONZALEZ DANIEL	2042 W CRAIG PL	SAN ANTONIO	TX	78201
GONZALEZ ELIZABETH V & RODOLFO Z	1819 KENTUCKY AVE	SAN ANTONIO	TX	78201
GONZALEZ LUIS M & HERLINDA	1718 WAVERLY	SAN ANTONIO	TX	78201
GONZALEZ NICOLAS & WF	1238 KENTUCKY AVE	SAN ANTONIO	TX	78201
GONZALEZ PABLO G JR & ELIDA S	1822 W WOODLAWN	SAN ANTONIO	TX	78201
GONZALEZ PAULINE B	1839 W CRAIG PL	SAN ANTONIO	TX	78201
GONZALEZ ROBERT C & GINA C	1522 WAVERLY AVE	SAN ANTONIO	TX	78201
GONZALEZ YVONNE	2054 W WOODLAWN	SAN ANTONIO	TX	78201
GORENA DANIEL C & CECILIA L c/o ELOMA PARKS ALBRIGHT	2922 W FRENCH PL	SAN ANTONIO	TX	78228
GOSSARD JASON & KELI	1506 TEXAS AVE	SAN ANTONIO	TX	78201
GRAHAM EDWARD LEE	1918 W ASHBY PL	SAN ANTONIO	TX	78201
GRANADO DOMINGO T JR & PATSY G	1143 WAVERLY	SAN ANTONIO	TX	78201
GREGURICH THOMAS M	141 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GREGURICH THOMAS M	137 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
GUARDADO ANDRES	1515 CULEBRA RD	SAN ANTONIO	TX	78201
GUARDADO ANDRES	1511 CULEBRA RD	SAN ANTONIO	TX	78201
GUARDADO ANDRES & MARTHA C	1505 CULEBRA RD	SAN ANTONIO	TX	78201
GUARNERO RUTH H	1918 CINCINNATI AVE	SAN ANTONIO	TX	78228
GUERRA ANGEL & MARI ESTRADA	222 ALEXANDER	SAN ANTONIO	TX	78201
GUERRA DOLORES RIOJAS	1422 TEXAS AVE	SAN ANTONIO	TX	78201
GUERRA EDWARD C & JANET J	1710 N HAMILTON AVE	SAN ANTONIO	TX	78201
GUERRA HERLINDA	925 WAVERLY	SAN ANTONIO	TX	78201
GUERRA JUAN J & ELSA ANN	1922 W CRAIG PL	SAN ANTONIO	TX	78201
GUERRERO GILBERT R & EMILIA	1729 N ELMENDORF	SAN ANTONIO	TX	78201
GUERRERO GLORIA F	1950 CINCINNATI AVE	SAN ANTONIO	TX	78228
GUERRERO HENRY D	1006 KENTUCKY AVE	SAN ANTONIO	TX	78201
GUERRERO MARK	3120 W ASHBY PL	SAN ANTONIO	TX	78228
GUEVARA ANITA M	2015 N ELMENDORF	SAN ANTONIO	TX	78201
GUEVARA JERRY Z	2410 W CRAIG PL	SAN ANTONIO	TX	78201
GUEVARA KRYSTLE & MERAZ JUAN	2631 W CRAIG PL	SAN ANTONIO	TX	78228
GUEVARA RICHARD A	2406 W CRAIG PL	SAN ANTONIO	TX	78201
GUILLEN JOSE JESUS & MARIA GUADALUPE	1311 CULEBRA RD	SAN ANTONIO	TX	78201

Property Owner	Property Address			
GUITERREZ MARIELUZ	1803 KENTUCKY AVE	SAN ANTONIO	TX	78201
GUTIERREZ DAVID & LORENA	1832 W WOODLAWN	SAN ANTONIO	TX	78201
GUTIERREZ GEORGE & JUANITA	1239 KENTUCKY AVE	SAN ANTONIO	TX	78201
GUTIERREZ MARIA LUISA	1126 KENTUCKY AVE	SAN ANTONIO	TX	78201
GUTIERREZ MATILDE	2643 W CRAIG PL	SAN ANTONIO	TX	78228
GUTIERREZ RAMIRO & ALMA G	2522 W WOODLAWN	SAN ANTONIO	TX	78228
GUTIERREZ RAMIRO & ALMA	2210 CINCINNATI AVE	SAN ANTONIO	TX	78228
GUTIERREZ RAMIRO & ALMA C	2027 CINCINNATI AVE	SAN ANTONIO	TX	78228
GUZMAN ANGELA	1923 TEXAS AVE	SAN ANTONIO	TX	78228
GUZMAN LEO A	2943 W FRENCH PL	SAN ANTONIO	TX	78228
HAGER CORNELIUS & ALICE E	3051 W ASHBY PL	SAN ANTONIO	TX	78228
HAHN RACHEL H c/o ESTHER HAHN MACIAS	222 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
HAMIL MARTHA	1726 W WOODLAWN	SAN ANTONIO	TX	78201
HARTMANN ROBERT	104 EPWORTH	SAN ANTONIO	TX	78228
HARTMANN ROBERT	104 EPWORTH	SAN ANTONIO	TX	78228
HENDRIX CARROLL D & ALICE	1402 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ ALBERT S EUFEMIA B	1811 W FRENCH PL	SAN ANTONIO	TX	78201
HERNANDEZ ALFRED S & MARIA	2001 W FRENCH PL	SAN ANTONIO	TX	78201
HERNANDEZ ALFREDO	107 EMORY	SAN ANTONIO	TX	78228
HERNANDEZ ANTONIO J	119 EMORY	SAN ANTONIO	TX	78228
HERNANDEZ FRED Z & FLORINE P	2811 W FRENCH PL	SAN ANTONIO	TX	78228
HERNANDEZ HECTOR S & MARTHA A	705 ROUSE	SAN ANTONIO	TX	78201
HERNANDEZ HUMBERTO R & CAROLINA D	2630 W CRAIG PL	SAN ANTONIO	TX	78228
HERNANDEZ HUMBERTO R ET AL	517 EMORY	SAN ANTONIO	TX	78228
HERNANDEZ ISIDRO A & ELSA MARIA & ISIDRO A JR	1405 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ ISIDRO A & VIRGINIA ET AL	1401 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ JAIME & RAFAEL	2123 CULEBRA RD	SAN ANTONIO	TX	78228
HERNANDEZ JESUS R & OPHELIA	3202 W FRENCH PL	SAN ANTONIO	TX	78228
HERNANDEZ JOE L	3230 W FRENCH PL	SAN ANTONIO	TX	78228
HERNANDEZ JOHN R & MARY LOU	2405 W CRAIG PL	SAN ANTONIO	TX	78201
HERNANDEZ JUAN R & BLANCA	850 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ JUAN T & ARGENTINA V	1519 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ LETICIA D	608 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
HERNANDEZ LILLIAN P	2026 W CRAIG PL	SAN ANTONIO	TX	78201
HERNANDEZ LUZ Y	2019 W CRAIG PL	SAN ANTONIO	TX	78201
HERNANDEZ MANUELA H	1318 TEXAS AVE	SAN ANTONIO	TX	78201
HERNANDEZ MARCELA R	1302 WAVERLY	SAN ANTONIO	TX	78201
HERNANDEZ MARIA H	1515 WAVERLY	SAN ANTONIO	TX	78201
HERNANDEZ MARTIN & JOSEPHINE	1711 W CRAIG PL	SAN ANTONIO	TX	78201
HERNANDEZ MARTIN A	2030 W CRAIG PL	SAN ANTONIO	TX	78201
HERNANDEZ MELISSA & ELMA HERNANDEZ	928 WAVERLY	SAN ANTONIO	TX	78201
HERNANDEZ MICHAEL	3054 W ASHBY PL	SAN ANTONIO	TX	78228
HERNANDEZ ROLANDO & SAMUEL A & CARLOS F ETAL	2006 WAVERLY	SAN ANTONIO	TX	78228
HERNANDEZ ROSA G & GUTIERREZ LUIS	1050 WAVERLY	SAN ANTONIO	TX	78201
HERNANDEZ ROSENDO & ANITA CEPEDA	1315 KENTUCKY AVE	SAN ANTONIO	TX	78201
HERNANDEZ SIMON G	1814 KENTUCKY AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
HERNANDEZ THERESA L/E NORMA ALICE CALDERON	818 TEXAS AVE	SAN ANTONIO	TX	78201
HERRERA CARMEN & GLORIA HERRERA	3117 W FRENCH PL	SAN ANTONIO	TX	78228
HERRERA DANNY F & DIANA M	1909 WAVERLY	SAN ANTONIO	TX	78228
HERRERA FRANCES MARIE	3111 W FRENCH PL	SAN ANTONIO	TX	78228
HERRERA GLORIA A	1710 W WOODLAWN	SAN ANTONIO	TX	78201
HERRERA GUADALUPE CARDENAS	2117 N ELMENDORF	SAN ANTONIO	TX	78201
HERRERA JO ANN	2421 W CRAIG PL	SAN ANTONIO	TX	78201
HERRERA PERFECTO & ANGELICA	2121 N ELMENDORF	SAN ANTONIO	TX	78201
HERRERA VIRGINIA W	2131 CINCINNATI AVE	SAN ANTONIO	TX	78228
HETTLER CAROLYN R & NAVA CLARA	1914 W CRAIG PL	SAN ANTONIO	TX	78201
HIBRON SAMUEL JOSE ANGEL	934 CINCINNATI AVE	SAN ANTONIO	TX	78201
HIGGINS RON	1727 W CRAIG PL	SAN ANTONIO	TX	78201
HIKEM AZIZ	2022 W WOODLAWN	SAN ANTONIO	TX	78201
HINOJOSA IVAN C & ANGELINA	1310 WAVERLY	SAN ANTONIO	TX	78201
HINOJOSA RAMON R & ANTONIA G	1140 KENTUCKY AVE	SAN ANTONIO	TX	78201
HOEPER GERTRUDE EST OF c/o JOHN C HOEPER	2047 W CRAIG PL	SAN ANTONIO	TX	78201
HOFFMAN ENRIQUE & MARTHA L	1143 KENTUCKY AVE	SAN ANTONIO	TX	78201
HOGAN GEORGE E	1403 KENTUCKY AVE	SAN ANTONIO	TX	78201
HOOPER THERESA L	2746 W CRAIG PL	SAN ANTONIO	TX	78228
HOUSING & URBAN DEVELOPMENT	1810 KENTUCKY AVE	SAN ANTONIO	TX	78201
HOWARD JUSTIN & CHRISTIN	1317 WAVERLY	SAN ANTONIO	TX	78201
HUERTER JOACHIM J	841 TEXAS AVE	SAN ANTONIO	TX	78201
HUIZAR IGNACIO Z & OLIVIA	1906 CINCINNATI AVE	SAN ANTONIO	TX	78228
HUYSMAN HILARIE A	3050 W ASHBY PL	SAN ANTONIO	TX	78228
IBARRA MARY M	2015 W FRENCH PL	SAN ANTONIO	TX	78201
IBARRA MICHAEL & JUANITA	2014 W CRAIG PL	SAN ANTONIO	TX	78201
IGLESIA PENTECOSTAL UNIDA DEL NOMBRE DE JESUS	937 CINCINNATI AVE	SAN ANTONIO	TX	78201
IGLESIAS JUANA LEONOR	1322 WAVERLY	SAN ANTONIO	TX	78201
ILTIS VERA c/o ILTIS ENTERPRISES	1139 CULEBRA RD	SAN ANTONIO	TX	78201
ISAAC JUAN C	2705 W CRAIG PL	SAN ANTONIO	TX	78228
JACINTO MODESTO & MARIA D	1743 W CRAIG PL	SAN ANTONIO	TX	78201
JADE PROPERTIES	1813 WAVERLY	SAN ANTONIO	TX	78201
JARAMILLO JUAN J & JANIE S	616 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
JARAMILLO JUAN J & JANIE S	612 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
JARAMILLO JUAN J & JANIE S	2516 W CRAIG PL	SAN ANTONIO	TX	78201
JARAMILLO MARY S	1918 W CRAIG PL	SAN ANTONIO	TX	78201
JAUREGUI EMILIO	2019 W FRENCH PL	SAN ANTONIO	TX	78201
JAUREGUI JR FRANK M	215 EPWORTH	SAN ANTONIO	TX	78228
JAYDEN SRB LLC	1815 CULEBRA RD	SAN ANTONIO	TX	78201
JIMENEZ ANTONIO VALLE & DIANE LEE	2138 CINCINNATI AVE	SAN ANTONIO	TX	78228
JIMENEZ CECILIA & JOSE A	2009 WAVERLY	SAN ANTONIO	TX	78228
JIMENEZ FRANK JR & MINNIE	1702 TEXAS AVE	SAN ANTONIO	TX	78201
JOHNSTON SANDRA P ELIAS, ALICE P	2626 W ASHBY PL	SAN ANTONIO	TX	78201
JONES HARVEY B	1211 WAVERLY	SAN ANTONIO	TX	78201
JORDAN THOMAS P & ANA P	2642 W CRAIG PL	SAN ANTONIO	TX	78228
JORGE MARY J	2418 W CRAIG PL	SAN ANTONIO	TX	78201

Property Owner	Property Address				
JORRIE MARILYN c/o RELIANCE PROPERTIES	3315 W ASHBY PL	SAN ANTONIO	TX	78228	
JORRIE MARILYN c/o RELIANCE PROPERTIES	600 E BANDERA RD	SAN ANTONIO	TX	78228	
JUAREZ BENITO & YOLANDA B	1721 CULEBRA RD	SAN ANTONIO	TX	78201	
JUAREZ ROSA MATILDE	1930 W ASHBY PL	SAN ANTONIO	TX	78201	
KAPLAN LOU R	117 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201	
KEE CYNTHIA V	1906 W WOODLAWN	SAN ANTONIO	TX	78201	
KELLEY BARBARA	2519 W FRENCH PL	SAN ANTONIO	TX	78201	
KEO HAM ROM	2926 W FRENCH PL	SAN ANTONIO	TX	78228	
KLEIN MARTHA M	2031 W CRAIG PL	SAN ANTONIO	TX	78201	
KLEYPAS CALVIN L	1707 CULEBRA RD	SAN ANTONIO	TX	78201	
KOENIG ANNETTE	236 ALEXANDER	SAN ANTONIO	TX	78201	
KOSKO PETER J	3243 W ASHBY PL	SAN ANTONIO	TX	78228	
KRAUSSE SEVERA	2038 WAVERLY	SAN ANTONIO	TX	78228	
KRUEGER DOROTHY KATHRYN	1838 W FRENCH PL	SAN ANTONIO	TX	78201	
LA TRINIDAD ASAMBLEA DE DIOS OF SAN ANTONIO	1310 TEXAS AVE	SAN ANTONIO	TX	78201	
LAFARGUE JOSEPHINE	1138 WAVERLY	SAN ANTONIO	TX	78201	
LARA HOPE G	2111 CINCINNATI AVE	SAN ANTONIO	TX	78228	
LARA JUAN & TINA	918 WAVERLY	SAN ANTONIO	TX	78201	
LARQUE MABLE M	2941 W FRENCH PL	SAN ANTONIO	TX	78228	
LAVOIE JAMES L	2930 W FRENCH PL	SAN ANTONIO	TX	78228	
LEDESMA RICARDO T & SYLVIA	1714 WAVERLY	SAN ANTONIO	TX	78201	
LEIJA OLGA R & JOSE F	1950 TEXAS AVE	SAN ANTONIO	TX	78228	
LEMUS ANA R	3110 W ASHBY PL	SAN ANTONIO	TX	78228	
LEMUS ANA R & CRISTINA J	2130 CINCINNATI AVE	SAN ANTONIO	TX	78228	
LEMUS ERNESTO J & ANA R	3112 W ASHBY PL	SAN ANTONIO	TX	78228	
LEMUS EVA DEL CID	2116 HICKORY ST	SAN ANTONIO	TX	78228	
LEMUS JUAN MANUEL ET AL	2111 HICKORY ST	SAN ANTONIO	TX	78228	
LEON ABEL M & ANNA MARIA	1809 W FRENCH PL	SAN ANTONIO	TX	78201	
LEYJA IGNACIO R & DELIA	2018 TEXAS AVE	SAN ANTONIO	TX	78228	
LEYVA MARY W EST OF c/o ROBERT C LEYVA SR	1622 CINCINNATI AVE	SAN ANTONIO	TX	78201	
LINARES AMPARO	1314 TEXAS AVE	SAN ANTONIO	TX	78201	
LIRA LEONOR	1953 WAVERLY	SAN ANTONIO	TX	78228	
LITOFKY ANA & MICHAEL	1130 WAVERLY	SAN ANTONIO	TX	78201	
LOERA IRENE C	2023 W FRENCH PL	SAN ANTONIO	TX	78201	
LONG ARTHUR D & L	2931 W ASHBY PL	SAN ANTONIO	TX	78228	
LONGORIA GRACE	1226 WAVERLY	SAN ANTONIO	TX	78201	
LOPEZ ARTURO S & JESUSITA	901 CINCINNATI AVE	SAN ANTONIO	TX	78201	
LOPEZ AURELIO N & VICENTE N	2002 CINCINNATI AVE	SAN ANTONIO	TX	78228	
LOPEZ CARLOS A & LOUISA S HERNANDEZ	935 CINCINNATI AVE	SAN ANTONIO	TX	78201	
LOPEZ CONSUELO G & SANTOS G	3057 W ASHBY PL	SAN ANTONIO	TX	78228	
LOPEZ EDWARD E	1102 WAVERLY	SAN ANTONIO	TX	78201	
LOPEZ FELICE M	2618 W CRAIG PL	SAN ANTONIO	TX	78228	
LOPEZ FELIPE B & EVARISTA	2309 W CRAIG PL	SAN ANTONIO	TX	78201	
LOPEZ FMLY LIVING REV TRST c/o DANIEL & ANNELI-	937 WAVERLY	SAN ANTONIO	TX	78201	
LOPEZ GILBERT & MAGDALENA	1734 W CRAIG PL	SAN ANTONIO	TX	78201	
LOPEZ HORACIO	1131 WAVERLY	SAN ANTONIO	TX	78201	

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LOPEZ JO ANN	2802 W FRENCH PL	SAN ANTONIO	TX	78228
LOPEZ JO ANN	2610 W ASHBY PL	SAN ANTONIO	TX	78201
LOPEZ JOSE T & VICTORIA	1930 CINCINNATI AVE	SAN ANTONIO	TX	78228
LOPEZ MANUEL & ROBINSON JEANETTE	1906 KENTUCKY AVE	SAN ANTONIO	TX	78228
LOPEZ RAFAEL & DORA	2617 W FRENCH PL	SAN ANTONIO	TX	78201
LOSOYA LARRY	1901 W FRENCH PL	SAN ANTONIO	TX	78201
LOZA RUDY G & OLIVIA V	1930 KENTUCKY AVE	SAN ANTONIO	TX	78228
LOZANO AMPARO SALINAS	1111 WAVERLY	SAN ANTONIO	TX	78201
LOZANO ANGELICA GUTIERREZ & LOZANO MICHAEL J	702 WILSON	SAN ANTONIO	TX	78201
LOZANO EDMUNDO B	2415 N ELMENDORF	SAN ANTONIO	TX	78201
LOZANO FERNANDO JR & ANNIE	3215 W ASHBY PL	SAN ANTONIO	TX	78228
LUNA AUGUSTIN M & CHRISTINA M	1828 TEXAS AVE	SAN ANTONIO	TX	78228
LUNA MIGUEL A & DIANA G	3114 W ASHBY PL	SAN ANTONIO	TX	78228
MACHADO THERESA ANN	2032 WAVERLY	SAN ANTONIO	TX	78228
MACIAS ARTURO E ETAL	1146 KENTUCKY AVE	SAN ANTONIO	TX	78201
MACIAS SARAH	2019 WAVERLY	SAN ANTONIO	TX	78228
MADRIGAL EDDIE A	1042 KENTUCKY AVE	SAN ANTONIO	TX	78201
MALDONADO FRANCISCO J	2114 CINCINNATI AVE	SAN ANTONIO	TX	78228
MALDONADO JEANETTE A	1103 WAVERLY	SAN ANTONIO	TX	78201
MALDONADO JESSE & ADELINA	1210 WAVERLY	SAN ANTONIO	TX	78201
MALDONADO RAUL & PAT	1514 TEXAS AVE	SAN ANTONIO	TX	78201
MANDUJANO MARIO & GUADALUPE A	2018 W CRAIG PL	SAN ANTONIO	TX	78201
MANGEL MARIA E PENA	2935 W FRENCH PL	SAN ANTONIO	TX	78228
MANGEL MARK A & ALMA	2918 W FRENCH PL	SAN ANTONIO	TX	78228
MANGEL ROGER P	2927 W FRENCH PL	SAN ANTONIO	TX	78228
MARCHUK ROSIE A	216 ALEXANDER	SAN ANTONIO	TX	78201
MARIN CORRINE S	837 TEXAS AVE	SAN ANTONIO	TX	78201
MARIN LOUIS SR & MARY JANE	3046 W ASHBY PL	SAN ANTONIO	TX	78228
MAROTTA H A JR & WIFE	2003 CINCINNATI AVE	SAN ANTONIO	TX	78228
MARQUEZ CESAR R & BERTHA A	919 CINCINNATI AVE	SAN ANTONIO	TX	78201
MARTINEZ CARLOS	1621 KENTUCKY AVE	SAN ANTONIO	TX	78201
MARTINEZ CAROL JEAN	2205 N ELMENDORF	SAN ANTONIO	TX	78201
MARTINEZ CAROLINA L	1602 TEXAS AVE	SAN ANTONIO	TX	78201
MARTINEZ DANIEL V & ZERTUCH ANGELA M	2842 W FRENCH PL	SAN ANTONIO	TX	78228
MARTINEZ DUSTIN	530 E BANDERA RD	SAN ANTONIO	TX	78228
MARTINEZ DUSTIN G	3259 W ASHBY PL	SAN ANTONIO	TX	78228
MARTINEZ EDNA	1806 N HAMILTON AVE	SAN ANTONIO	TX	78201
MARTINEZ ERLINDA A	2602 W CRAIG PL	SAN ANTONIO	TX	78228
MARTINEZ FLORENCIO G & ANA	3224 W ASHBY PL	SAN ANTONIO	TX	78228
MARTINEZ GEORGE L & PAMELA	212 ALEXANDER	SAN ANTONIO	TX	78201
MARTINEZ GLORIA R	2614 W ASHBY PL	SAN ANTONIO	TX	78201
MARTINEZ GUADALUPE V	1518 WAVERLY AVE	SAN ANTONIO	TX	78201
MARTINEZ JUAN	1315 CULEBRA RD	SAN ANTONIO	TX	78201
MARTINEZ JULIO C & LORENA S	1927 CINCINNATI AVE	SAN ANTONIO	TX	78228
MARTINEZ LYDIA GARCIA CELIA C GARCIA L/E	1126 WAVERLY	SAN ANTONIO	TX	78201
MARTINEZ M C	1915 W FRENCH PL	SAN ANTONIO	TX	78201

Property Owner	Property Address			
MARTINEZ MARIA C	1622 TEXAS AVE	SAN ANTONIO	TX	78201
MARTINEZ MARIA DE JESUS	1321 WAVERLY	SAN ANTONIO	TX	78201
MARTINEZ MARIO & GUADALUPE	1810 W FRENCH PL	SAN ANTONIO	TX	78201
MARTINEZ NATIVIDAD	2622 W CRAIG PL	SAN ANTONIO	TX	78228
MARTINEZ RENE & BASTI	1306 KENTUCKY AVE	SAN ANTONIO	TX	78201
MARTINEZ RICARDO A & PATRICIA G	1414 WAVERLY	SAN ANTONIO	TX	78201
MARTINEZ ROSARIO H & JOSUE' M	2733 W CRAIG PL	SAN ANTONIO	TX	78228
MARTINEZ STEVE E & DIANA P	1502 CINCINNATI AVE	SAN ANTONIO	TX	78201
MARTINEZ TONY O & BEATRICE	2046 CINCINNATI AVE	SAN ANTONIO	TX	78228
MARTINEZ VALENTIN J & BARBARA T	2540 W WOODLAWN	SAN ANTONIO	TX	78228
MARVIN MILLER PROPERTIES LTD	2202 CINCINNATI AVE	SAN ANTONIO	TX	78228
MATA GERARDO B	1942 W ASHBY PL	SAN ANTONIO	TX	78201
MATA MARIO M & CARMEN A	2715 W FRENCH PL	SAN ANTONIO	TX	78201
MATA SERAFIN	1711 CULEBRA RD	SAN ANTONIO	TX	78201
MATURINO JOSEPH B	1422 WAVERLY	SAN ANTONIO	TX	78201
MCCLURE CATHLEEN COTTER	210 S JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
MEDEL PEDRO JR & VIRGINIA H	839 TEXAS AVE	SAN ANTONIO	TX	78201
MEDINA CARLOS J ETAL	838 TEXAS AVE	SAN ANTONIO	TX	78201
MEDINA CURTIS & MARGARITA J	2011 W CRAIG PL	SAN ANTONIO	TX	78201
MEDINA DANIEL C DBA ALAMO ELECTRIC MOTOR CO	1323 CULEBRA RD	SAN ANTONIO	TX	78201
MEDINA DANIEL C DBA ALAMO ELECTRIC MOTOR CO	1319 CULEBRA RD	SAN ANTONIO	TX	78201
MEDINA JUAN JOSE JR	1222 WAVERLY	SAN ANTONIO	TX	78201
MEDINA MARY E	1510 TEXAS AVE	SAN ANTONIO	TX	78201
MEDINA YVONNE	1814 W WOODLAWN	SAN ANTONIO	TX	78201
MEDRANO HORTENSE C	3251 W ASHBY PL	SAN ANTONIO	TX	78228
MEDRANO HORTENSE C	3255 W ASHBY PL	SAN ANTONIO	TX	78228
MEDRANO IRMA	2215 CINCINNATI AVE	SAN ANTONIO	TX	78228
MELENDEZ OSCAR & ESPERANZA V	1242 KENTUCKY AVE	SAN ANTONIO	TX	78201
MENCHACA RICHARD G	1936 KENTUCKY AVE	SAN ANTONIO	TX	78228
MENDEZ ADAM G	1823 TEXAS AVE	SAN ANTONIO	TX	78228
MENDEZ DANIEL L & TRACY E	1611 WAVERLY	SAN ANTONIO	TX	78201
MENDEZ MARJORIE M	1406 WAVERLY	SAN ANTONIO	TX	78201
MENDEZ NELLIE REYES	1717 TEXAS AVE	SAN ANTONIO	TX	78201
MENDEZ RAUL H & MARIA E	1802 KENTUCKY AVE	SAN ANTONIO	TX	78201
MENDEZ RUBEN & MARGARITA	926 CINCINNATI AVE	SAN ANTONIO	TX	78201
MENDIOLA ADAM V & LUCINDA	3047 W ASHBY PL	SAN ANTONIO	TX	78228
MENDIOLA HENRY	1714 KENTUCKY AVE	SAN ANTONIO	TX	78201
MENDOZA CRUZ M	1724 CINCINNATI AVE	SAN ANTONIO	TX	78201
MENDOZA DAVID E & FELICITAS	2942 W ASHBY PL	SAN ANTONIO	TX	78228
MENDOZA JULIO C & NADIA M	1723 TEXAS AVE	SAN ANTONIO	TX	78201
MENDOZA RUDY JR & LUCY	818 WILSON	SAN ANTONIO	TX	78201
MENDOZA VICTOR P & ARCILIA	2717 W CRAIG PL	SAN ANTONIO	TX	78228
MERCADO BENITO A & ALICE	1930 TEXAS AVE	SAN ANTONIO	TX	78228
MEXICAN-AMERICAN CULTURAL CENTER INC	315 GERMANIA ST	SAN ANTONIO	TX	78228
MEXICAN-AMERICAN CULTURAL CENTER INC	3108 W ASHBY PL	SAN ANTONIO	TX	78228
MEZA EDWARD R & MARY LOUISE	1807 KENTUCKY AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
MEZA JAIME G & ROSANDRA T	1926 CINCINNATI AVE	SAN ANTONIO	TX	78228
MEZA JOE	1938 CINCINNATI AVE	SAN ANTONIO	TX	78228
MEZA JOE T	1449 CULEBRA RD	SAN ANTONIO	TX	78201
MEZA LILLIE	1823 WAVERLY	SAN ANTONIO	TX	78201
MILLER CURTIS CHARLES	822 TEXAS AVE	SAN ANTONIO	TX	78201
MILLER ELVA F	2215 N ELMENDORF	SAN ANTONIO	TX	78201
MILNES THOMAS & MARGARITA	2315 W CRAIG PL	SAN ANTONIO	TX	78201
MIRAN VICKY R	2010 TEXAS AVE	SAN ANTONIO	TX	78228
MIRANDA ALEXANDER	934 TEXAS AVE	SAN ANTONIO	TX	78201
MIRANDA FERMIN & DELIA B	1504 KENTUCKY AVE	SAN ANTONIO	TX	78201
MIRANDA MARIA FELIX	3027 W ASHBY PL	SAN ANTONIO	TX	78228
MIRELES GEORGE E & YOLANDA	2815 W FRENCH PL	SAN ANTONIO	TX	78228
MIRELES GEORGE E II	2520 W CRAIG PL	SAN ANTONIO	TX	78201
MIRELES MANUEL & GRECULA MONIQUE	2010 W CRAIG PL	SAN ANTONIO	TX	78201
MISSION PLUMBING TEXAS INC	1803 CULEBRA RD	SAN ANTONIO	TX	78201
MOCZYGEMBA RUDOLPH & MARIA F	3214 W FRENCH PL	SAN ANTONIO	TX	78228
MOLINA ADAM	3031 W ASHBY PL	SAN ANTONIO	TX	78228
MOLINA DAVID M	938 CINCINNATI AVE	SAN ANTONIO	TX	78201
MONCIVAIS DIANA M	2006 CINCINNATI AVE	SAN ANTONIO	TX	78228
MONIER OSCAR BRYAN JR	2414 W CRAIG PL	SAN ANTONIO	TX	78201
MONREAL EDUARDO	1503 WAVERLY	SAN ANTONIO	TX	78201
MONSALVO HOPE H	202 BANDERA RD	SAN ANTONIO	TX	78228
MONTALVO DELIA G	1412 KENTUCKY AVE	SAN ANTONIO	TX	78201
MONTELONGO ROSE MARY	123 EMORY	SAN ANTONIO	TX	78228
MONTIEL DOMINGO & CHINCANCHAN ANA M	230 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
MONTOYA JESSE	1947 WAVERLY	SAN ANTONIO	TX	78228
MONTOYA JUAN E	1839 TEXAS AVE	SAN ANTONIO	TX	78228
MORA ROGERS V	1822 W FRENCH PL	SAN ANTONIO	TX	78201
MORALES CARMEN MACIAS	2203 N ELMENDORF	SAN ANTONIO	TX	78201
MORALES DANIEL & LUCILLE E	1419 KENTUCKY AVE	SAN ANTONIO	TX	78201
MORALES ELISEO G & ORALIA	1118 WAVERLY	SAN ANTONIO	TX	78201
MORALES ISAAC & MARIA CAMPOS	2007 CINCINNATI AVE	SAN ANTONIO	TX	78228
MORALES JOE C	114 ALEXANDER	SAN ANTONIO	TX	78201
MORALES MARIA ELVA	1618 TEXAS AVE	SAN ANTONIO	TX	78201
MORALES MARIA GUADALUPE	1811 WAVERLY	SAN ANTONIO	TX	78201
MORALES ROLANDO	2235 CINCINNATI AVE	SAN ANTONIO	TX	78228
MORAS SONIA & PEDRO F JR	1707 WAVERLY	SAN ANTONIO	TX	78201
MORENO ALBERTO I	1010 KENTUCKY AVE	SAN ANTONIO	TX	78201
MORENO DANIEL M & SIMONA C	1822 TEXAS AVE	SAN ANTONIO	TX	78228
MORENO LUCILLE	1951 TEXAS AVE	SAN ANTONIO	TX	78228
MORENO MARIE	218 ALEXANDER	SAN ANTONIO	TX	78201
MORENO MARIO & BLANCA M	2622 W ASHBY PL	SAN ANTONIO	TX	78201
MORENO MARY JANE	3026 W ASHBY PL	SAN ANTONIO	TX	78228
MORENO RUDOLPH	1523 KENTUCKY AVE	SAN ANTONIO	TX	78201
MORSE JAMES E & ALICIA	1841 W FRENCH PL	SAN ANTONIO	TX	78201
MOSER LILLIAN Z	1710 TEXAS AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
MUELLER CHARLES E	2027 CULEBRA RD	SAN ANTONIO	TX	78201
MUNGIA AGUSTIN & JEANNETTE L	1507 KENTUCKY AVE	SAN ANTONIO	TX	78201
MUNIZ CONUELO A LIVING TRUST MUNIZ CONSUELO A	1506 WAVERLY	SAN ANTONIO	TX	78201
MUNIZ ENCARNACION P & ALICE	1942 TEXAS AVE	SAN ANTONIO	TX	78228
MUNOZ JESSE	1931 TEXAS AVE	SAN ANTONIO	TX	78228
MUNOZ MARGARITO B & MARIA R	1818 KENTUCKY AVE	SAN ANTONIO	TX	78201
MUNOZ RAMON P & MARIA M & MARIA A MUNOZ	3203 W FRENCH PL	SAN ANTONIO	TX	78228
MURGUIA CATALINA ODE	1906 W ASHBY PL	SAN ANTONIO	TX	78201
NAJERA ROSALBA Z	901 WAVERLY	SAN ANTONIO	TX	78201
NANEZ JOANN B	1307 CULEBRA RD	SAN ANTONIO	TX	78201
NARVAIZ ADAM	2215 N ZARZAMORA	SAN ANTONIO	TX	78201
NAVARIJO RAUL & ROSARIO	931 CINCINNATI AVE	SAN ANTONIO	TX	78201
NAVARRO SUSIE	2546 W WOODLAWN	SAN ANTONIO	TX	78228
NETARDUS CLEMENT J	1523 TEXAS AVE	SAN ANTONIO	TX	78201
NIEBLA ARMANDO A	302 E BANDERA RD	SAN ANTONIO	TX	78228
NIETO ROSALINDA	2041 TEXAS AVE	SAN ANTONIO	TX	78228
NOLL PATRICIA A	2458 W WOODLAWN	SAN ANTONIO	TX	78228
NOLL PATRICIA A	722 EMORY	SAN ANTONIO	TX	78228
NUNEZ PAUL R & MARIA D	2639 W CRAIG PL	SAN ANTONIO	TX	78228
NUNEZ PERFECTO & WIFE	2758 W CRAIG PL	SAN ANTONIO	TX	78228
O CON JOSE C	1307 KENTUCKY AVE	SAN ANTONIO	TX	78201
OAKLEY INCORPORATED 401(K) PLAN	511 EMORY	SAN ANTONIO	TX	78228
OCHOA FRANCISCO	1915 W FRENCH PL	SAN ANTONIO	TX	78201
OCHOA GUILLERMO A	2401 W CRAIG PL	SAN ANTONIO	TX	78201
OCURA GENARO & MARIA	1319 KENTUCKY AVE	SAN ANTONIO	TX	78201
OLGUIN GUADALUPE S & AURORA	2118 CINCINNATI AVE	SAN ANTONIO	TX	78228
OLIVARRI MAECHAL & MARIA M	1146 WAVERLY	SAN ANTONIO	TX	78201
ONEALRUTH LOUISE	2054 CINCINNATI AVE	SAN ANTONIO	TX	78228
ONTIVEROS JONAS & SANJUANA	1716 KENTUCKY AVE	SAN ANTONIO	TX	78201
ONTIVEROS MIKE	1938 W CRAIG PL	SAN ANTONIO	TX	78201
ORTEGA BRIGIDA R	1812 TEXAS AVE	SAN ANTONIO	TX	78228
ORTENSIE KENNETH & MARY	2519 W CRAIG PL	SAN ANTONIO	TX	78201
ORTIZ AMPARO	1243 WAVERLY	SAN ANTONIO	TX	78201
ORTIZ DONNA MARIE	1815 TEXAS AVE	SAN ANTONIO	TX	78228
ORTIZ PEDRO V & ANITA	942 WAVERLY	SAN ANTONIO	TX	78201
OVALLE NORTHWEST II LLC	534 E BANDERA RD	SAN ANTONIO	TX	78228
OVALLE OLIVIA H ET AL	2102 CINCINNATI AVE	SAN ANTONIO	TX	78228
OZUNA GEORGE & ANDREA	1203 WAVERLY	SAN ANTONIO	TX	78201
PACHECANO JOHN C & VELIA L	1507 WAVERLY	SAN ANTONIO	TX	78201
PADRON RUFINO & MARIA G	822 WILSON	SAN ANTONIO	TX	78201
PAKRAVAN ALICE	1251 KENTUCKY AVE	SAN ANTONIO	TX	78201
PALACIOS ELSIE H	1610 WAVERLY	SAN ANTONIO	TX	78201
PANTOJA ROSA MARIA & DIANA D GARCIA	1850 TEXAS AVE	SAN ANTONIO	TX	78228
PAREDES JOSIE	1307 WAVERLY	SAN ANTONIO	TX	78201
PASTEN MARIA E	1927 WAVERLY	SAN ANTONIO	TX	78228
PASTRANO MAGDALENA	1926 W WOODLAWN	SAN ANTONIO	TX	78201

Property Owner		Property Address			
PASTRANO VIRGINIA H & FLORES DELIA HERNANDEZ	914 TEXAS AVE	SAN ANTONIO	TX	78201	
PECHE LARRY DORIA & LAURA ARCE PECHE	1914 W WOODLAWN	SAN ANTONIO	TX	78201	
PENA ELVIRA G	2522 W ASHBY PL	SAN ANTONIO	TX	78201	
PENA GARIZELA & SERVANDO PENA	1201 KENTUCKY AVE	SAN ANTONIO	TX	78201	
PENA GEORGE	1722 W WOODLAWN	SAN ANTONIO	TX	78201	
PENA JOE D JR L/E & KAY MATTHEWS	2939 W FRENCH PL	SAN ANTONIO	TX	78228	
PENA JORGE	2518 W WOODLAWN	SAN ANTONIO	TX	78228	
PENA LARRY V	1347 CULEBRA RD	SAN ANTONIO	TX	78201	
PENA LARRY V	1343 CULEBRA RD	SAN ANTONIO	TX	78201	
PENA MARIA A NAVA TRUSTEE	1246 KENTUCKY AVE	SAN ANTONIO	TX	78201	
PENA SOCORRO T	1829 W CRAIG PL	SAN ANTONIO	TX	78201	
PERALES ROSE E	927 CINCINNATI AVE	SAN ANTONIO	TX	78201	
PEREIDA CLAUDIA	1139 KENTUCKY AVE	SAN ANTONIO	TX	78201	
PEREZ ALICIA T	3019 W ASHBY PL	SAN ANTONIO	TX	78228	
PEREZ ELIDA	2003 N ZARZAMORA	SAN ANTONIO	TX	78201	
PEREZ GEORGE & MARIA DEL CARMEN	1921 N ELMENDORF	SAN ANTONIO	TX	78201	
PEREZ HERIBERTO & IMELDA	1418 TEXAS AVE	SAN ANTONIO	TX	78201	
PEREZ JEFFREY E	2915 W FRENCH PL	SAN ANTONIO	TX	78228	
PEREZ JUANA	1511 WAVERLY	SAN ANTONIO	TX	78201	
PEREZ LUIS R & JULIANA A	1218 KENTUCKY AVE	SAN ANTONIO	TX	78201	
PEREZ MANUEL	1955 TEXAS AVE	SAN ANTONIO	TX	78228	
PEREZ MANUEL F & MARILU	2014 CINCINNATI AVE	SAN ANTONIO	TX	78228	
PEREZ ROBERTO FLORES	2047 CINCINNATI AVE	SAN ANTONIO	TX	78228	
PEREZ TERESA F & AMPARO L	1107 WAVERLY	SAN ANTONIO	TX	78201	
PEREZ VERONICA BARRAGAN	1415 WAVERLY	SAN ANTONIO	TX	78201	
PINA FLORA	1703 KENTUCKY AVE	SAN ANTONIO	TX	78201	
POORE JAMES E & REBECCA M	2530 W WOODLAWN	SAN ANTONIO	TX	78228	
PORTALES BRENDA	1802 N HAMILTON AVE	SAN ANTONIO	TX	78201	
PORTALES MARIA VICTORIA	1132 KENTUCKY AVE	SAN ANTONIO	TX	78201	
PRADO BERTHA G	2938 W ASHBY PL	SAN ANTONIO	TX	78228	
PREMIER ANTIQUE STUCCO LLC	1437 CULEBRA RD	SAN ANTONIO	TX	78201	
PRIDDY GLORIA CONNOLLY	2010 N ELMENDORF	SAN ANTONIO	TX	78201	
PRIETO DAMIAN & MERCEDES	416 PEACOCK	SAN ANTONIO	TX	78201	
PROSPECT HILL LODGE # 1247 A F & A M	3238 W FRENCH PL	SAN ANTONIO	TX	78228	
PUENTE BEATRICE R & RAYMOND S RAMIREZ ET AL	1327 CULEBRA RD	SAN ANTONIO	TX	78201	
PUENTE GILBERTO & ESTHER	1937 WAVERLY	SAN ANTONIO	TX	78228	
PUENTE JOSE S	2434 W WOODLAWN	SAN ANTONIO	TX	78228	
PUENTE MARCOS & LINDSEY	2006 W WOODLAWN	SAN ANTONIO	TX	78201	
PUENTE ROBERT P & WIFE	3004 W ASHBY PL	SAN ANTONIO	TX	78228	
PUNTES LLINDA JEAN & ALBERTO III	1711 KENTUCKY AVE	SAN ANTONIO	TX	78201	
QUEVEDO IRIS YVETTE	1407 WAVERLY	SAN ANTONIO	TX	78201	
QUINONEZ ELIAS M	2623 W CRAIG PL	SAN ANTONIO	TX	78228	
QUINTERO ALEJANDRO	2051 CINCINNATI AVE	SAN ANTONIO	TX	78228	
QUINTERO EDWARD M & BEATRICE T	1614 TEXAS AVE	SAN ANTONIO	TX	78201	
RAMIREZ ADRIAN SR & ELIA M	1246 WAVERLY	SAN ANTONIO	TX	78201	
RAMIREZ DANIEL	202 S JOSEPHINE TOBIN	SAN ANTONIO	TX	78201	

Property Owner	Property Address			
RAMIREZ ELVIRA	1231 WAVERLY	SAN ANTONIO	TX	78201
RAMIREZ ELVIRA Y	1923 W CRAIG PL	SAN ANTONIO	TX	78201
RAMIREZ HOMERO & PATRICIA	2043 W CRAIG PL	SAN ANTONIO	TX	78201
RAMIREZ JOE & CRUZ EST OF	849 TEXAS AVE	SAN ANTONIO	TX	78201
RAMIREZ JOHN A	618 E BANDERA RD	SAN ANTONIO	TX	78228
RAMIREZ JUSTO	1624 KENTUCKY AVE	SAN ANTONIO	TX	78201
RAMIREZ LEE GARCIA	1042 KENTUCKY AVE	SAN ANTONIO	TX	78201
RAMIREZ LOUIS Y	1923 CINCINNATI AVE	SAN ANTONIO	TX	78228
RAMIREZ MACARIO (MAC) M	1931 W FRENCH PL	SAN ANTONIO	TX	78201
RAMIREZ MARIA & TIMOTEO	1713 TEXAS AVE	SAN ANTONIO	TX	78201
RAMIREZ RAFAEL S JR	1106 WAVERLY	SAN ANTONIO	TX	78201
RAMIREZ RAYMOND S & CARRIE RITA JIMENEZ ET AL	1243 CULEBRA RD	SAN ANTONIO	TX	78201
RAMIREZ SANTIAGO G	904 WAVERLY	SAN ANTONIO	TX	78201
RAMIREZ TONY C/S	2001 WAVERLY	SAN ANTONIO	TX	78228
RAMIREZ YVETTE	1800 W WOODLAWN	SAN ANTONIO	TX	78201
RAMIREZ YVETTE ELAINE	202 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
RAMON ALEJARDRO A & ELOISE	2635 W CRAIG PL	SAN ANTONIO	TX	78228
RAMON CESAR A & GLORIA M	1410 TEXAS AVE	SAN ANTONIO	TX	78201
RAMON PETRA R	2219 N ELMENDORF	SAN ANTONIO	TX	78201
RAMOS DIANA CARREON	1815 W CRAIG PL	SAN ANTONIO	TX	78201
RAMOS EDGAR M & HERRERA DIANA E	111 EMORY	SAN ANTONIO	TX	78228
RAMOS MARTIN JR	2122 CINCINNATI AVE	SAN ANTONIO	TX	78228
RAMOS MIRIAM ARICETA OLIVA	2952 W FRENCH PL	SAN ANTONIO	TX	78228
RAMOS MIRIAM ARICETA OLIVA	2948 W FRENCH PL	SAN ANTONIO	TX	78228
RAMOS MIRIAM ARICETA OLIVA	439 GERMANIA ST	SAN ANTONIO	TX	78228
RAMOS REBECCA C	1830 W WOODLAWN	SAN ANTONIO	TX	78201
RANGEL ESTHER	1924 W CRAIG PL	SAN ANTONIO	TX	78201
RANGEL GENEVIEVE EST OF c/o ESTRELLITA R ECHTER-	1210 KENTUCKY AVE	SAN ANTONIO	TX	78201
RANGEL GLORIA JEAN	2907 W FRENCH PL	SAN ANTONIO	TX	78228
RANGEL RAUL R & TOMMIE O	1918 KENTUCKY AVE	SAN ANTONIO	TX	78228
RAYMOND LIVING TRUST, RAYMOND PAUL L & RAQUEL	1935 TEXAS AVE	SAN ANTONIO	TX	78228
RAZURI LUCINDA R	2022 TEXAS AVE	SAN ANTONIO	TX	78228
REIL PAULINE L	2839 W FRENCH PL	SAN ANTONIO	TX	78228
REINA REYNALDO R	2312 W CRAIG PL	SAN ANTONIO	TX	78201
REINA RONALD F ETAL	1135 CULEBRA RD	SAN ANTONIO	TX	78201
RENAUD LEANDRO	1151 CULEBRA RD	SAN ANTONIO	TX	78201
RESENDEZ RAMIRO	1115 KENTUCKY AVE	SAN ANTONIO	TX	78201
RETA BETTY J & ROSEMARY CAULDER & RAYMOND P	1215 WAVERLY	SAN ANTONIO	TX	78201
REYES ADAM	1715 CULEBRA RD	SAN ANTONIO	TX	78201
REYES CLAUDIA	1214 WAVERLY	SAN ANTONIO	TX	78201
REYES MARIA & IVAN	2711 W FRENCH PL	SAN ANTONIO	TX	78201
REYES PHILLIP Q & CONNIE M	2011 CINCINNATI AVE	SAN ANTONIO	TX	78228
REYES SYLVIA P	1615 WAVERLY	SAN ANTONIO	TX	78201
REYNA ISABEL H	1115 WAVERLY	SAN ANTONIO	TX	78201
REYNA LOUIS P & STELLA L	2023 CINCINNATI AVE	SAN ANTONIO	TX	78228
REYNA PROPERTIES L P	1934 CINCINNATI AVE	SAN ANTONIO	TX	78228

Property Owner	Property Address			
REYNA PROPERTIES L P	511 WILSON	SAN ANTONIO	TX	78228
REYNA PROPERTIES L P	1911 CINCINNATI AVE	SAN ANTONIO	TX	78228
REYNA PROPERTIES L P	842 TEXAS AVE	SAN ANTONIO	TX	78201
REYNA RAYMOND & SYLVIA	2438 W WOODLAWN	SAN ANTONIO	TX	78228
REYNA RODOLFO P	1250 KENTUCKY AVE	SAN ANTONIO	TX	78201
REYNAGA MARIA G	2413 W CRAIG PL	SAN ANTONIO	TX	78201
REYNOLDS HAROLD W	106 VOLLUM AVE	SAN ANTONIO	TX	78201
RICE RANDOLPH K & CANALES AMERICO R	1506 CINCINNATI AVE	SAN ANTONIO	TX	78201
RICO GUADALUPE U	2011 N ELMENDORF	SAN ANTONIO	TX	78201
RIOS DANIEL & JUDY	1117 KENTUCKY AVE	SAN ANTONIO	TX	78201
RIOS IRMA	218 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
RIOS RAUL A	1923 CULEBRA RD	SAN ANTONIO	TX	78201
RIVAS BELISARIO P & GABRIELA G AGUILAR	1308 WAVERLY	SAN ANTONIO	TX	78201
RIVERA LIBRADO M & ALICIA L	1719 WAVERLY	SAN ANTONIO	TX	78201
RIVERA MANUEL S & CYNTHIA R HERNANDEZ	1324 KENTUCKY AVE	SAN ANTONIO	TX	78201
RIVERA NIDIA ESTRADA	105 EPWORTH	SAN ANTONIO	TX	78228
RIVERA VENANCIO G & MAGDALENA	1947 W ASHBY PL	SAN ANTONIO	TX	78201
ROBALIN ELIZABETH M EST OF	1247 CULEBRA RD	SAN ANTONIO	TX	78201
ROBINSON ROBIN L	1414 TEXAS AVE	SAN ANTONIO	TX	78201
ROBLEDO SIMON & ANGELINA	2035 W CRAIG PL	SAN ANTONIO	TX	78201
ROBLES GARY & MONICA G	106 ALEXANDER	SAN ANTONIO	TX	78201
ROBLES VICTORIA C	110 ALEXANDER	SAN ANTONIO	TX	78201
ROBOLLOSO SOFIA H	2014 WAVERLY	SAN ANTONIO	TX	78228
ROCHA EDDIE & MARIA E	1135 WAVERLY	SAN ANTONIO	TX	78201
ROCHA LUIS A	815 GOODRICH AVE	SAN ANTONIO	TX	78201
ROCHA RAUL R & LORETTA C	2023 W CRAIG PL	SAN ANTONIO	TX	78201
RODRIGUEZ ROBERTO C & KARINA P	1835 TEXAS AVE	SAN ANTONIO	TX	78228
RODRIGUEZ ABEL L & RAQUEL V	1627 TEXAS AVE	SAN ANTONIO	TX	78201
RODRIGUEZ ANGELA G	1834 W WOODLAWN	SAN ANTONIO	TX	78201
RODRIGUEZ AUGUSTINE JR	1128 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ CARLOS M & WIFE	1921 W ASHBY PL	SAN ANTONIO	TX	78201
RODRIGUEZ E G & MINERVA G	1613 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ ERNEST	1606 TEXAS AVE	SAN ANTONIO	TX	78201
RODRIGUEZ ERNESTO & WF	1423 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ FRANCESCA M EST OF	1310 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ FRANCISCO J & MARIA ISABEL	1734 W WOODLAWN	SAN ANTONIO	TX	78201
RODRIGUEZ HECTOR V & BEATRIZ	1620 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ JAMES A	1243 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ JESUS & PATRICIA	501 WILSON	SAN ANTONIO	TX	78228
RODRIGUEZ JESUS G & PATRICIA C	1611 CULEBRA RD	SAN ANTONIO	TX	78201
RODRIGUEZ JOE	214 WILSON	SAN ANTONIO	TX	78201
RODRIGUEZ JOE & MAURICIA G	1815 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ JOHATHAN & ANNETTE GARZA LOPEZ	2807 W FRENCH PL	SAN ANTONIO	TX	78228
RODRIGUEZ JUAN & RODRIGUEZ DELLA D	1119 WAVERLY	SAN ANTONIO	TX	78201
RODRIGUEZ JUAN C & ANA MARIA	2010 WAVERLY	SAN ANTONIO	TX	78228
RODRIGUEZ JUAN V	1522 KENTUCKY AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
RODRIGUEZ LETICIA	1314 WAVERLY	SAN ANTONIO	TX	78201
RODRIGUEZ LILLIAN	1614 WAVERLY	SAN ANTONIO	TX	78201
RODRIGUEZ MARTIN G & DIANA	2035 CINCINNATI AVE	SAN ANTONIO	TX	78228
RODRIGUEZ MARTIN JR & JENNIFER P	2019 CINCINNATI AVE	SAN ANTONIO	TX	78228
RODRIGUEZ NORMA G & ELIZONDA MICHAEL A	1700 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ OFELIA	1622 WAVERLY	SAN ANTONIO	TX	78201
RODRIGUEZ OSCAR & MODESTA S	946 WAVERLY	SAN ANTONIO	TX	78201
RODRIGUEZ RAMONA V	3228 W ASHBY PL	SAN ANTONIO	TX	78228
RODRIGUEZ RAYMOND G	1234 KENTUCKY AVE	SAN ANTONIO	TX	78201
RODRIGUEZ RAYMUNDO & HUERTA HERIBERTO A	3007 W ASHBY PL	SAN ANTONIO	TX	78228
RODRIGUEZ VENTURA BEN & CARMEN MOLINA RODRIGUEZ	1431 CULEBRA RD	SAN ANTONIO	TX	78201
RODRIGUEZ VIOLANDA E	2607 W CRAIG PL	SAN ANTONIO	TX	78228
RODRIGUEZ YVONNE P	1709 N ELMENDORF	SAN ANTONIO	TX	78201
ROJAS MARIA C	2039 W CRAIG PL	SAN ANTONIO	TX	78201
ROMO RENE H & ANNA MARIE	2311 N ELMENDORF	SAN ANTONIO	TX	78201
ROSALES BETTY ANN	2819 W FRENCH PL	SAN ANTONIO	TX	78228
ROSALES JESSE E & EVA	2818 W FRENCH PL	SAN ANTONIO	TX	78228
ROSAS DAVID H	915 TEXAS AVE	SAN ANTONIO	TX	78201
ROSAS LIDIA V & GUADALUPE A MUNOZ JR	1423 WAVERLY	SAN ANTONIO	TX	78201
RUBIO ERNEST V & ROSALINDA	3234 W ASHBY PL	SAN ANTONIO	TX	78228
RUIZ DAVID B & CYNTHIA ANN	1512 KENTUCKY AVE	SAN ANTONIO	TX	78201
RUIZ GLORIA	2002 W WOODLAWN	SAN ANTONIO	TX	78201
RUIZ JOHN N & MARISSA A	1707 TEXAS AVE	SAN ANTONIO	TX	78201
RUIZ MONICA & MONICA MAXINE	2042 W WOODLAWN	SAN ANTONIO	TX	78201
RUIZ SANDRA A & LUIS R II	2736 W CRAIG PL	SAN ANTONIO	TX	78228
RUIZ ZULEMA A	2002 W CRAIG PL	SAN ANTONIO	TX	78201
SAAVEDRA BERTHA	2005 WAVERLY	SAN ANTONIO	TX	78228
SAENZ LOUIS JR & LUCILLE P	1957 WAVERLY	SAN ANTONIO	TX	78228
SAENZ MARIA E	1950 W ASHBY PL	SAN ANTONIO	TX	78201
SAENZ OLIVIA ROCHA	1409 KENTUCKY AVE	SAN ANTONIO	TX	78201
SAENZ VALENTIN O & MATILDE	2119 CINCINNATI AVE	SAN ANTONIO	TX	78228
SAENZ VIRGINIA DIANNA	2410 W WOODLAWN	SAN ANTONIO	TX	78228
SAIZ RAYMOND	3030 W ASHBY PL	SAN ANTONIO	TX	78228
SALAS LIONEL J & DIANE R	2823 W FRENCH PL	SAN ANTONIO	TX	78228
SALAS SHARON	821 TEXAS AVE	SAN ANTONIO	TX	78201
SALAS SYLVIA CARMONA	1038 TEXAS AVE	SAN ANTONIO	TX	78201
SALAS SYLVIA CARMONA	1038 TEXAS AVE	SAN ANTONIO	TX	78201
SALAS SYLVIA CARMONA	1038 TEXAS AVE	SAN ANTONIO	TX	78201
SALAZAR ANTONIO T & ROSA M	905 WAVERLY	SAN ANTONIO	TX	78201
SALAZAR FLAVIO C & CONNIE P HERNANDEZ	1227 WAVERLY	SAN ANTONIO	TX	78201
SALAZAR HECTOR W	3010 W ASHBY PL	SAN ANTONIO	TX	78228
SALAZAR ROBERTO & GUADALUPE	1921 N ZARZAMORA	SAN ANTONIO	TX	78201
SALDANA AURORA P	3252 W ASHBY PL	SAN ANTONIO	TX	78228
SALDANA MARIA C	1810 W CRAIG PL	SAN ANTONIO	TX	78201
SALDANA TESTAMENTARY TR	1822 W CRAIG PL	SAN ANTONIO	TX	78201
SALDANA TESTAMENTARY TR	1818 W CRAIG PL	SAN ANTONIO	TX	78201

Property Owner	Property Address			
SALGADO PEDRO L & ELSA	1935 WAVERLY	SAN ANTONIO	TX	78228
SALINAS EDUARDO & CONSUELO	1803 TEXAS AVE	SAN ANTONIO	TX	78228
SALINAS EDUARDO & CONSUELO	1805 TEXAS AVE	SAN ANTONIO	TX	78228
SALINAS EDUARDO & CONSUELO MORENO	1706 KENTUCKY AVE	SAN ANTONIO	TX	78201
SALINAS JESSE A & JACINTA R	2611 W CRAIG PL	SAN ANTONIO	TX	78228
SALMON YOLANDA	1523 WAVERLY	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2918 W ASHBY PL	SAN ANTONIO	TX	78228
SALVATION ARMY INC	519 WILSON	SAN ANTONIO	TX	78228
SALVATION ARMY INC	W ASHBY	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2809 W ASHBY	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2806 W ASHBY	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2710 W ASHBY PL	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2709 W ASHBY PL	SAN ANTONIO	TX	78201
SALVATION ARMY INC	2603 W ASHBY PL	SAN ANTONIO	TX	78201
SAN ANTONIO HOUSING DEVELOPMENT CORP	1706 CINCINNATI AVE	SAN ANTONIO	TX	78201
SAN ANTONIO ISD	1930 WAVERLY	SAN ANTONIO	TX	78228
SAN ANTONIO ISD	1016 KENTUCKY AVE	SAN ANTONIO	TX	78201
SAN ANTONIO ISD	1014 WAVERLY	SAN ANTONIO	TX	78201
SAN ANTONIO ISD	1014 KENTUCKY AVE	SAN ANTONIO	TX	78201
SAN ANTONIO ISD	1012 KENTUCKY AVE	SAN ANTONIO	TX	78201
SAN ANTONIO RIVER AUTHORITY	1042 WAVERLY	SAN ANTONIO	TX	78201
SANCHEZ AMELIA L	1606 WAVERLY	SAN ANTONIO	TX	78201
SANCHEZ ANGELITA & MOSIAC LAND TRUST	1914 TEXAS AVE	SAN ANTONIO	TX	78228
SANCHEZ CARLOS M	1123 WAVERLY 1	SAN ANTONIO	TX	78201
SANCHEZ CARLOS M	1123 WAVERLY	SAN ANTONIO	TX	78201
SANCHEZ EVA	830 TEXAS AVE	SAN ANTONIO	TX	78201
SANCHEZ FERNANDO E & LYDIA	1521 CULEBRA RD	SAN ANTONIO	TX	78201
SANCHEZ JESUS JR	2025 TEXAS AVE	SAN ANTONIO	TX	78228
SANCHEZ MARTIN J & ROSA N	1834 TEXAS AVE	SAN ANTONIO	TX	78228
SANCHEZ MARTIN JAIME	1913 N ZARZAMORA	SAN ANTONIO	TX	78201
SANCHEZ MARTIN THOMAS	1222 KENTUCKY AVE	SAN ANTONIO	TX	78201
SANCHEZ OLIVIA Z	2043 CINCINNATI AVE	SAN ANTONIO	TX	78228
SANCHEZ SYLVIA ANN	1910 TEXAS AVE	SAN ANTONIO	TX	78228
SANCHEZ VINCENT III	1746 W CRAIG PL	SAN ANTONIO	TX	78201
SANDOVAL CHRISTOPHER R SR & DORIS F	2139 CINCINNATI AVE	SAN ANTONIO	TX	78228
SANTOS PETE & LILIA	2005 TEXAS AVE	SAN ANTONIO	TX	78228
SANTOS YOLANDA MARIE & RICHARD P HOLGIN	1206 KENTUCKY AVE	SAN ANTONIO	TX	78201
SARABIA JOSE LUIS & ORALIA	1519 KENTUCKY AVE	SAN ANTONIO	TX	78201
SARN PHAN & YEONG HAY	2814 W FRENCH PL	SAN ANTONIO	TX	78228
SARN PHON RATHANAK & SREYRATH THEK	2730 W CRAIG PL	SAN ANTONIO	TX	78228
SCHMID JOSEPH & MARY B	3014 W ASHBY PL	SAN ANTONIO	TX	78228
SCHMIDTZENSKY ROBERT WAYNE	1602 WAVERLY	SAN ANTONIO	TX	78201
SCHUBACK PHIL B	1619 CINCINNATI AVE	SAN ANTONIO	TX	78201
SECURITY NATIONAL BANK	120 ST CLOUD	SAN ANTONIO	TX	78228
SECURITY NATIONAL BANK c/o SOUTHTRUST BANK	100 ST CLOUD	SAN ANTONIO	TX	78228
SEGOVIA ROGER O & ELVA HERNANDEZ	1214 KENTUCKY AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
SEPULVEDA GENARO O & SOVIEDA	2922 W ASHBY PL	SAN ANTONIO	TX	78228
SERRANO MARISELA	1322 TEXAS AVE	SAN ANTONIO	TX	78201
SERRATO AURORA & PEDRO & FELIPA A VASQUEZ	2507 W CRAIG PL	SAN ANTONIO	TX	78201
SERVIN MARCO A & JOSEFINA A	1005 WAVERLY	SAN ANTONIO	TX	78201
SHEPPARD YOLANDA A	1847 W CRAIG PL	SAN ANTONIO	TX	78201
SIECZYNSKI JERZY F	1806 W CRAIG PL	SAN ANTONIO	TX	78201
SIGMOR #531	1419 CULEBRA RD	SAN ANTONIO	TX	78201
SILVA CARLOS	2017 TEXAS AVE	SAN ANTONIO	TX	78228
SILVA DOMINGO R & MARIA C	1223 WAVERLY	SAN ANTONIO	TX	78201
SILVA MANUEL S & EVANGELINA	1242 WAVERLY	SAN ANTONIO	TX	78201
SILVA MAYO & ADRIANA	1727 WAVERLY	SAN ANTONIO	TX	78201
SILVA ROSALINDA FARIAS ETAL	2043 WAVERLY	SAN ANTONIO	TX	78228
SMITH ELIZABETH CAROLINA	1722 WAVERLY	SAN ANTONIO	TX	78201
SMITH KENNETH M	2143 CINCINNATI AVE	SAN ANTONIO	TX	78228
SMITH KENNETH M	2151 CINCINNATI AVE	SAN ANTONIO	TX	78228
SMITH KENNETH M	2200 CINCINNATI AVE	SAN ANTONIO	TX	78228
SOLIS DOLORES R	1934 W WOODLAWN	SAN ANTONIO	TX	78201
SOSA LAURA J	1202 WAVERLY	SAN ANTONIO	TX	78201
SOTO ARGELIA	832 TEXAS AVE	SAN ANTONIO	TX	78201
SOTO CYNTHIA D	434 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
SOTO HAZEL	1924 CINCINNATI AVE	SAN ANTONIO	TX	78228
SOUTHTRUST BANK	100 ST CLOUD	SAN ANTONIO	TX	78228
SPECKMAN DAVID L	2613 W FRENCH PL	SAN ANTONIO	TX	78201
SPECKMAN DAVID L	2609 W FRENCH PL	SAN ANTONIO	TX	78201
STARIN ELVIRA	1924 KENTUCKY AVE	SAN ANTONIO	TX	78228
STATE OF TEXAS	E BANDERA RD	SAN ANTONIO	TX	78228
STATE OF TEXAS	E BANDERA RD	SAN ANTONIO	TX	78228
STATE OF TEXAS	TEXAS AVE	SAN ANTONIO	TX	78201
STATE OF TEXAS	E BANDERA RD	SAN ANTONIO	TX	78201
STATE OF TEXAS	2038 WAVERLY	SAN ANTONIO	TX	78201
STAUDT CATHERINE	207 EPWORTH	SAN ANTONIO	TX	78228
STELLEMA KATHLEEN	165 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
STEPHENS WALTER W & I	1922 TEXAS AVE 1	SAN ANTONIO	TX	78228
STEPHENS WALTER W & I	1922 TEXAS AVE	SAN ANTONIO	TX	78228
SUAREZ JOSE Y & MARTINEZ ROMANA	1114 WAVERLY	SAN ANTONIO	TX	78201
SUNBELT BUSINESS & MARKETING CONSULTANTS INC	915 CINCINNATI AVE	SAN ANTONIO	TX	78201
SUNIGA MARTHA N	2430 W WOODLAWN	SAN ANTONIO	TX	78228
SWAALEY LARRY J	2038 W CRAIG PL	SAN ANTONIO	TX	78201
SWEET MILDRED	1742 W WOODLAWN	SAN ANTONIO	TX	78201
TAMAYO VERONICA	2910 W ASHBY PL	SAN ANTONIO	TX	78228
TAMEZ EUSEBIO	2403 N ZARZAMORA	SAN ANTONIO	TX	78201
TAMEZ RAYMOND & ESTEFANA	1717 KENTUCKY AVE	SAN ANTONIO	TX	78201
TAPIA JUAN R & BETTY R	1147 WAVERLY	SAN ANTONIO	TX	78201
TARIN MANUEL B	1419 WAVERLY	SAN ANTONIO	TX	78201
TELLEZ ANTHONY E & SYLVIA	2034 W CRAIG PL	SAN ANTONIO	TX	78201
TELLEZ CONSUELO P	2022 W CRAIG PL	SAN ANTONIO	TX	78201

Property Owner	Property Address			
TELLEZ JOSE R	1515 TEXAS AVE	SAN ANTONIO	TX	78201
TENIENTE JULIO RICHARD & ORALIA O	1139 WAVERLY	SAN ANTONIO	TX	78201
TERRAZAS EUDELIA C	2752 W CRAIG PL	SAN ANTONIO	TX	78228
TERRAZAS FRANCISCO M	1147 KENTUCKY AVE	SAN ANTONIO	TX	78201
TERRY WALTER D & ANNIE M	2737 W CRAIG PL	SAN ANTONIO	TX	78228
TERRY WALTER D & ANNIE MAE	2552 W WOODLAWN	SAN ANTONIO	TX	78228
TEXAS TRANSPORTATION COMMISS	622 E BANDERA RD	SAN ANTONIO	TX	78228
TEY EDNA	1609 TEXAS AVE	SAN ANTONIO	TX	78201
THE SARAH ROBERTS FRENCH HOME	1315 TEXAS AVE	SAN ANTONIO	TX	78201
THEALL CHRISTOPHER C	1830 TEXAS AVE	SAN ANTONIO	TX	78228
TILLMAN DEAN F	2030 CINCINNATI AVE	SAN ANTONIO	TX	78228
TIMPE DOUGLAS & VICTORIA	1804 N HAMILTON AVE	SAN ANTONIO	TX	78201
TOBIAS ANTHONY	1209 KENTUCKY AVE	SAN ANTONIO	TX	78201
TORRALVA MARY ANN	1902 CINCINNATI AVE	SAN ANTONIO	TX	78228
TORRALVA TERESA	1715 WAVERLY	SAN ANTONIO	TX	78201
TORRES CHARLES R	2926 W ASHBY PL	SAN ANTONIO	TX	78228
TORRES JOE DEJESUS & MARIA ELENA	2803 W FRENCH PL	SAN ANTONIO	TX	78228
TORRES JOSE & ELVIRA G	1122 WAVERLY	SAN ANTONIO	TX	78201
TORRES RALPH G & ORALIA V	1402 WAVERLY	SAN ANTONIO	TX	78201
TORREZ JULIAN M	1127 WAVERLY	SAN ANTONIO	TX	78201
TOVAR CECILIA	1143 CULEBRA RD	SAN ANTONIO	TX	78201
TOVAR CECILIA	1131 CULEBRA RD	SAN ANTONIO	TX	78201
TOVAR GLORIA C A/K/A CONSUELO	909 WAVERLY	SAN ANTONIO	TX	78201
TOVAR GUADALUPE P	1423 TEXAS AVE	SAN ANTONIO	TX	78201
TOWNSEND MICHAEL J & DIANE C	1931 CINCINNATI AVE	SAN ANTONIO	TX	78228
TREJO IRMA	1318 KENTUCKY AVE	SAN ANTONIO	TX	78201
TREJO LUI S	917 WAVERLY	SAN ANTONIO	TX	78201
TRENCHARD KATHLEEN	105 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
TREVINO ADOLFO M JR	617 GOODRICH AVE	SAN ANTONIO	TX	78201
TREVINO ADOLFO M JR	1502 WAVERLY	SAN ANTONIO	TX	78201
TREVINO ALFONSO R & CARMEN C	2013 TEXAS AVE	SAN ANTONIO	TX	78228
TREVINO ARMANDO C & MARIA E	2006 TEXAS AVE	SAN ANTONIO	TX	78228
TREVINO ARTHUR S & GUADALUPE G	2026 CINCINNATI AVE	SAN ANTONIO	TX	78228
TREVINO BERNADETTE	2500 W WOODLAWN	SAN ANTONIO	TX	78228
TREVINO BERNICE P	2436 W WOODLAWN	SAN ANTONIO	TX	78228
TREVINO CECILIA FLORES ETAL	3226 W FRENCH PL	SAN ANTONIO	TX	78228
TREVINO DORA A	1610 CINCINNATI AVE	SAN ANTONIO	TX	78201
TREVINO JOE F & EDELMIRA	2038 CINCINNATI AVE	SAN ANTONIO	TX	78228
TREVINO JUAN A & M LETICIA	WAVERLY	SAN ANTONIO	TX	78201
TREVINO JUAN A & M LETICIA	916 WAVERLY	SAN ANTONIO	TX	78201
TREVINO JUAN A & MARIA L	912 WAVERLY	SAN ANTONIO	TX	78201
TREVINO JUAN JOSE & MARTHA	1403 WAVERLY	SAN ANTONIO	TX	78201
TREVINO RAYMOND D & MARTHA	1134 WAVERLY	SAN ANTONIO	TX	78201
TRISTAN JAMES & JOANNE	2241 CINCINNATI AVE	SAN ANTONIO	TX	78228
TRISTAN JAMES & JOANNE	502 E BANDERA RD	SAN ANTONIO	TX	78228
TRISTAN JAMES & JOANNE	1603 TEXAS AVE	SAN ANTONIO	TX	78201

Property Owner	Property Address			
TRUJILLO ESTHER C	2050 W WOODLAWN	SAN ANTONIO	TX	78201
TUCKER TIMOTHY E & LYDIA T	1943 W FRENCH PL	SAN ANTONIO	TX	78201
UGARTE VIRGINIA	2046 W WOODLAWN	SAN ANTONIO	TX	78201
ULBRICH ZILLAH C ET AL	1730 W WOODLAWN	SAN ANTONIO	TX	78201
UNKNOWN	2713 W CRAIG PL	SAN ANTONIO	TX	78228
UNKNOWN	1247 WAVERLY	SAN ANTONIO	TX	78201
URDIALES CALEB & CASTELLEJA MARISOL	1610 KENTUCKY AVE	SAN ANTONIO	TX	78201
URDIALES RAUL A JR & GUADALUPE C	1902 TEXAS AVE	SAN ANTONIO	TX	78228
URESTI PATRICK R & IRENE L	1718 TEXAS AVE	SAN ANTONIO	TX	78201
URESTI PATRICK R & IRENE L	1714 TEXAS AVE	SAN ANTONIO	TX	78201
URIAS GILBERT Y & GLORIA Q	2702 W CRAIG PL	SAN ANTONIO	TX	78228
URIEGAS MARY A	2826 W FRENCH PL	SAN ANTONIO	TX	78228
URRABAZO MARTHA	1902 W WOODLAWN	SAN ANTONIO	TX	78201
USRP FUNDING 2001-A LP	2107 CULEBRA RD	SAN ANTONIO	TX	78228
VALAGUE JOE C & REBECCA E	2834 W FRENCH PL	SAN ANTONIO	TX	78228
VALDES YOLANDA S	1202 KENTUCKY AVE	SAN ANTONIO	TX	78201
VALDEZ ARTURO H & ELVIRA V	2721 W CRAIG PL	SAN ANTONIO	TX	78228
VALDEZ BERNARDO ETAL	1303 CULEBRA RD	SAN ANTONIO	TX	78201
VALDEZ ESTELLA P ET AL	1619 KENTUCKY AVE	SAN ANTONIO	TX	78201
VALDEZ ISABEL	2638 W CRAIG PL	SAN ANTONIO	TX	78228
VALDEZ MARIA E	1913 TEXAS AVE	SAN ANTONIO	TX	78228
VALDEZ MARIA ELENA c/o MARIA ELENA SEPULVEDA	1824 W WOODLAWN	SAN ANTONIO	TX	78201
VALDEZ MARY JANE	2914 W FRENCH PL	SAN ANTONIO	TX	78228
VALDIVIA LUIS	1802 CINCINNATI AVE	SAN ANTONIO	TX	78201
VALENCIA ANITA ESTER & MARIO I	2025 W FRENCH PL	SAN ANTONIO	TX	78201
VALERA YOLANDA M	2010 CINCINNATI AVE	SAN ANTONIO	TX	78228
VALLEJO SONIA A	2142 CINCINNATI AVE	SAN ANTONIO	TX	78228
VALVO MARCIA	1823 W CRAIG PL	SAN ANTONIO	TX	78201
VANDERVORT ALBERT & REGINA	1935 W CRAIG PL	SAN ANTONIO	TX	78201
VARGAS BARTOLO & SANDRA C	2211 N ELMENDORF	SAN ANTONIO	TX	78201
VARGAS DAVID & ALICE R	1946 TEXAS AVE	SAN ANTONIO	TX	78228
VASQUEZ ADAN JR	1219 KENTUCKY AVE	SAN ANTONIO	TX	78201
VASQUEZ ELODIA MORENO	2050 CINCINNATI AVE	SAN ANTONIO	TX	78228
VASQUEZ GUILLERMO & SONIA D	1811 TEXAS AVE	SAN ANTONIO	TX	78228
VASQUEZ JOE A	1703 TEXAS AVE	SAN ANTONIO	TX	78201
VASQUEZ JORGE P & ESPERANZA	1715 KENTUCKY AVE	SAN ANTONIO	TX	78201
VASQUEZ JOSE A & MARGARITA	2512 W CRAIG PL	SAN ANTONIO	TX	78201
VASQUEZ JUAN & CYNTHIA	3018 W ASHBY PL	SAN ANTONIO	TX	78228
VASQUEZ RAYMUNDO & ZULEMA S	209 SAN ANTONIO AVE	SAN ANTONIO	TX	78201
VASQUEZ TOMASA	1818 TEXAS AVE	SAN ANTONIO	TX	78228
VASQUEZ WILLIAM G & ELOISA	1623 WAVERLY	SAN ANTONIO	TX	78201
VASQUEZ WILLIAM G & ELOISA	1251 CULEBRA RD	SAN ANTONIO	TX	78201
VAUGHN CHRISTOPHER & BRENDA	1902 W ASHBY PL	SAN ANTONIO	TX	78201
VAZQUEZ ELISEO	1219 CULEBRA RD	SAN ANTONIO	TX	78201
VAZQUEZ ELISEO	1215 CULEBRA RD 1	SAN ANTONIO	TX	78201
VAZQUEZ JUANITA & LORENZO A VAZQUEZ	1511 KENTUCKY AVE	SAN ANTONIO	TX	78201

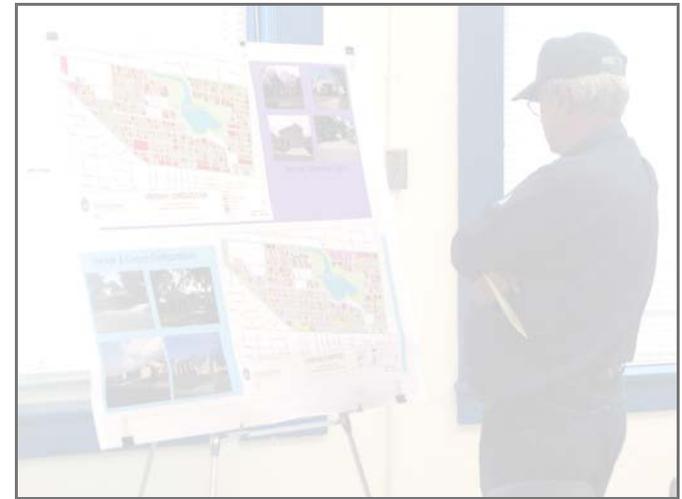
Property Owner	Property Address			
VEGA EMMA T	2010 W WOODLAWN	SAN ANTONIO	TX	78201
VEGA MARIA N	1514 CINCINNATI AVE	SAN ANTONIO	TX	78201
VELA CARLOS V & DELIA B	2029 TEXAS AVE	SAN ANTONIO	TX	78228
VELA JOSE A	1838 TEXAS AVE	SAN ANTONIO	TX	78228
VELA RICARDO G & NINFA V	2033 TEXAS AVE	SAN ANTONIO	TX	78228
VELASQUEZ CICERO R SR	2906 W FRENCH PL	SAN ANTONIO	TX	78228
VELASQUEZ JORGE G	814 WILSON	SAN ANTONIO	TX	78201
VELEZ JUAN A	2223 N ELMENDORF	SAN ANTONIO	TX	78201
VELIZ HOMERO & BENITA	941 WAVERLY	SAN ANTONIO	TX	78201
VENEGAS JOSE R & MARIA D HERNANDEZ	2934 W ASHBY PL	SAN ANTONIO	TX	78228
VILLALOBOS YOLANDA A & VICTOR M	828 TEXAS AVE	SAN ANTONIO	TX	78201
VILLALON CONCEPCION & MARCOS JR	2606 W CRAIG PL	SAN ANTONIO	TX	78228
VILLALON MARCO JR & CONCEPTION VILLALON	3154 W FRENCH PL	SAN ANTONIO	TX	78228
VILLALON MARCOS & CONCEPCION	2615 W CRAIG PL	SAN ANTONIO	TX	78228
VILLALON MARCOS JR & CONCEPCION	3114 W FRENCH PL	SAN ANTONIO	TX	78228
VILLALON MARCOS JR & CONCEPCION	2614 W CRAIG PL	SAN ANTONIO	TX	78228
VILLALON MARCOS JR & CONCEPCION	2542 W WOODLAWN	SAN ANTONIO	TX	78228
VILLALON MARCUS JR & CONCEPTION	3218 W FRENCH PL	SAN ANTONIO	TX	78228
VILLALON XAVIER	2838 W FRENCH PL	SAN ANTONIO	TX	78228
VILLAREAL JOE	2610 W CRAIG PL	SAN ANTONIO	TX	78228
VILLAREAL OLIVIA G & ELIEZER U	2003 W CRAIG PL	SAN ANTONIO	TX	78201
VILLARREAL ELEAZAR	520 E BANDERA RD	SAN ANTONIO	TX	78228
VILLARREAL ESTELLA G	934 TEXAS AVE	SAN ANTONIO	TX	78201
VILLARREAL MANUEL G & MARY G	2911 W FRENCH PL	SAN ANTONIO	TX	78228
VILLARREAL MAURO L & MARICELA	2042 CINCINNATI AVE	SAN ANTONIO	TX	78228
VILLARREAL RUDY R & JOYCE FMLY LP	1227 KENTUCKY AVE	SAN ANTONIO	TX	78201
VILLARREAL SYLVIA C	1911 W CRAIG PL	SAN ANTONIO	TX	78201
VISION UNLIMITED CHURCH	922 WAVERLY	SAN ANTONIO	TX	78201
WAID MARTA TOVAR	911 WAVERLY	SAN ANTONIO	TX	78201
WALLACE MARIA TERESA	102 ALEXANDER	SAN ANTONIO	TX	78201
WAMSLEY GLORIA RAMIREZ	2314 W CRAIG PL	SAN ANTONIO	TX	78201
WEAVER ROY ANDREW JR	1511 TEXAS AVE	SAN ANTONIO	TX	78201
WEBER MARK D	224 ALEXANDER	SAN ANTONIO	TX	78201
WILEY THOMAS C & CHANDA DAY	1927 W CRAIG PL	SAN ANTONIO	TX	78201
WILLARS ROBERT	1318 WAVERLY	SAN ANTONIO	TX	78201
WILSON LARRY & OLGA	1951 CINCINNATI AVE	SAN ANTONIO	TX	78228
WOOD WILLIAM E & MARTHA L	1751 W CRAIG PL	SAN ANTONIO	TX	78201
WOODLAWN PARK LLC	2015 N ZARZAMORA	SAN ANTONIO	TX	78201
WOODS EVA R	430 E BANDERA RD	SAN ANTONIO	TX	78228
WRIGHT JAMES EDWARD & LISA MARIE	246 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
WRIGHT KATHERINE M	131 JOSEPHINE TOBIN	SAN ANTONIO	TX	78201
XIMENES ROBERT A	2830 W FRENCH PL	SAN ANTONIO	TX	78228
YBARRA DAVID	1814 TEXAS AVE	SAN ANTONIO	TX	78228
YENNE REBECCA R	1230 WAVERLY	SAN ANTONIO	TX	78201
YORK LEO L	2903 W ASHBY PL	SAN ANTONIO	TX	78228
YZAGUIRRE MARY	1822 WAVERLY	SAN ANTONIO	TX	78201

Property Owner	Property Address				
ZAMARRIPA ARMIDA & JOSE	1504 WAVERLY	SAN ANTONIO	TX	78201	
ZAMORA AMANCIO C & ROSA G	2135 CINCINNATI AVE	SAN ANTONIO	TX	78228	
ZAMORA LEOPOLDO S & MARIA J	1851 TEXAS AVE	SAN ANTONIO	TX	78228	
ZAMORA RAUL G & DOLORES	910 CINCINNATI AVE	SAN ANTONIO	TX	78201	
ZAMORA VICK G & HELEN B	1702 WAVERLY	SAN ANTONIO	TX	78201	
ZAPATA BIANCA M	1742 W CRAIG PL	SAN ANTONIO	TX	78201	
ZAPATA JOSE A & DIANA	1939 W ASHBY PL	SAN ANTONIO	TX	78201	
ZAPEDA INVESTMENTS LLC	1410 WAVERLY	SAN ANTONIO	TX	78201	
ZATARAIN ERNEST	1718 N HAMILTON AVE	SAN ANTONIO	TX	78201	
ZATARAIN JOHN & ELSIE	1722 N HAMILTON AVE	SAN ANTONIO	TX	78201	
ZATARAIN JOHN S JR & WF	1811 KENTUCKY AVE	SAN ANTONIO	TX	78201	
ZAVALA PEDRO III & TUESDAE ANN	1832 W CRAIG PL	SAN ANTONIO	TX	78201	
ZEPEDA BELINDA	3039 W ASHBY PL	SAN ANTONIO	TX	78228	
ZEPEDA DAVID ELISEO	1600 CINCINNATI AVE	SAN ANTONIO	TX	78201	
ZERTUCHE JOSE CLAUDIO	3104 W FRENCH PL	SAN ANTONIO	TX	78228	



# **APPENDIX E**

# **NCD MEETING SCHEDULE**



## NCD Meeting Schedule

### Public Meetings

First Public Meeting	October 21, 2009	Fenwick Elementary School
Second Public Meeting	February 25, 2010	Fenwick Elementary School
Third Public Meeting	August 30, 2010	Fenwick Elementary School

### Planning Team Meetings

October 5, 2009	May 26, 2010	August 11, 2010
December 17, 2009	June 2, 2010	August 18, 2010
January 21, 2010	June 19, 2010	August 25, 2010
March 4, 2010	June 23, 2010	September 16, 2010
March 31, 2010	July 1, 2010	September 22, 2010
May 5, 2010	July 14, 2010	
May 17, 2010	August 5, 2010	

### Zoning Commission Meetings

Briefing:	October 19, 2010
Consideration:	November 16, 2010

### City Council Meeting

**November 18, 2010**



# **ATTACHMENT 1**

## **Zoning Commission Documentation**

**RESERVED**

**RESERVED**



# **ATTACHMENT 2**

## **City Council Ordinance**

**RESERVED**

**RESERVED**

