

CITY OF SAN ANTONIO

Zoning Commission Agenda

Cliff Morton Development and Business Services Center
1901 S. Alamo Street
Board Room

Tuesday, September 20, 2011
12:45 PM

ZONING COMMISSIONERS

Mariana Ornelas – District 1	Christopher Martinez – District 6
Dan Martinez – District 2	David Christian – District 7
Andrew Anguiano – District 3	Rick McNealy – District 9
Orlando Salazar – District 4	Milton R. McFarland – District 10
Vacant – District 5	Brenna Nava– District Mayor
Billy J. Tiller – District 8 Chairman	

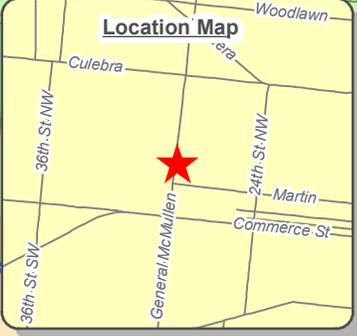
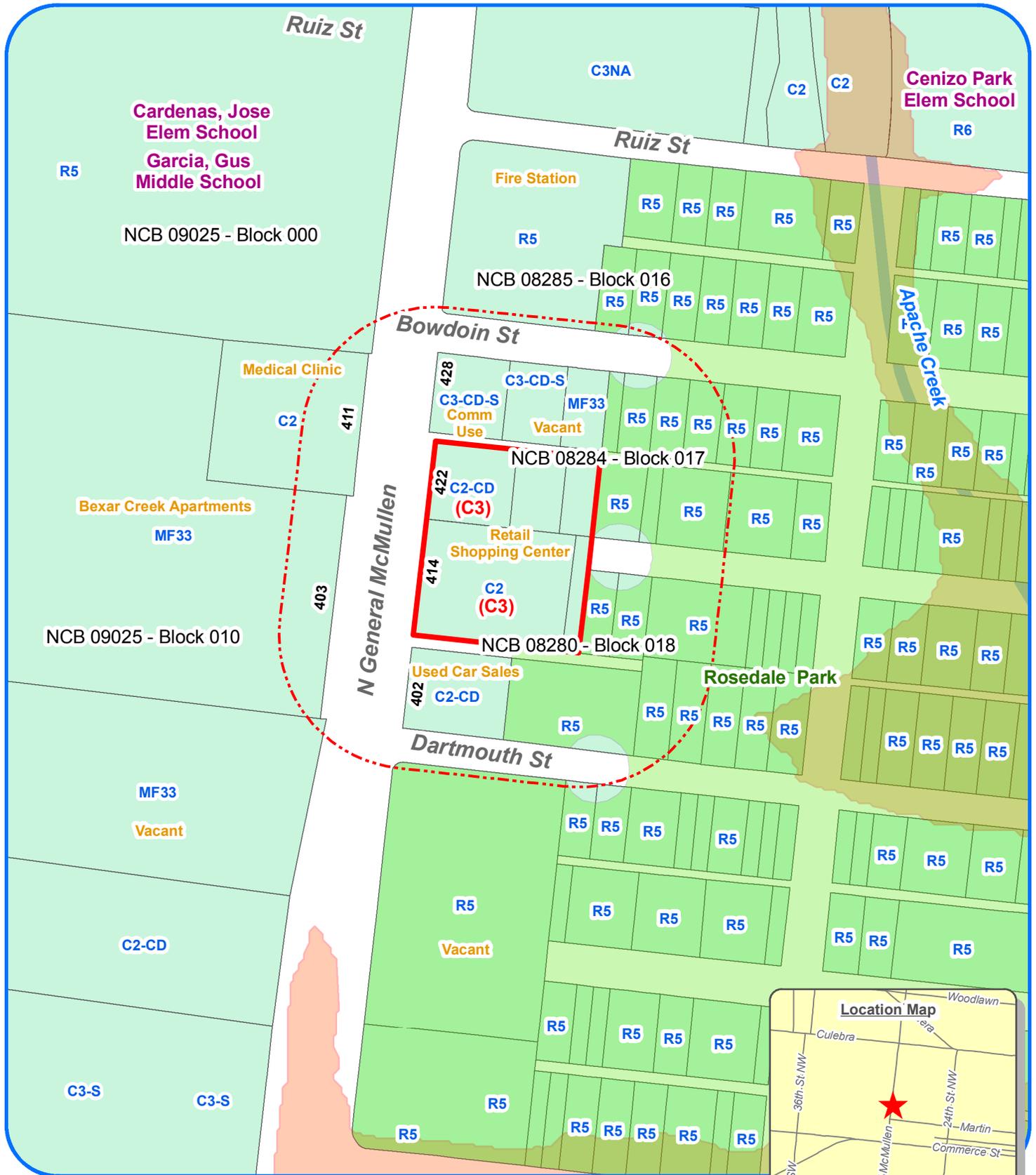
1. **12:45 PM** - Work Session - discussion of policies and administrative procedures, and any items for consideration on the agenda for September 20, 2011.
2. **1:00 P.M.** Board Room– Call to Order.
3. Roll Call.
4. Pledge of Allegiance.
5. Approval of August 16 and September 6, 2011 Zoning Commission Minutes.
6. **ZONING CASE NUMBER Z2011135 (Council District 5):** A request for a change in zoning from “C-2 AHOD” Commercial Airport Hazard Overlay District and “C-2 CD AHOD” Commercial Airport Hazard Overlay District with a conditional use for mini-storage units to “C-3 AHOD” General Commercial Airport Hazard Overlay District on Lot 34, Block 18, NCB 8280 together with that portion of Colby Street adjacent to and north of Lot 34 abandoned by Ordinance No. 98915 of the City of San Antonio (also known as P-100 by the Bexar County Appraisal District), Lot 49, Block 18, NCB 8280, and Lots 15 through 24, Block 17, NCB 8284, 414, 418 & 422 N. General McMullen.
7. **ZONING CASE NUMBER Z2011139 ERZD (Council District 10):** A request for a change in zoning from “C-2 PC-1 ERZD” Commercial Bulverde Preservation Corridor Overlay Edwards Recharge Zone District and “C-2 ERZD” Commercial Edwards Recharge Zone District to “R-6 PC-1 ERZD” Single-Family Residential Bulverde Preservation Corridor Overlay Edwards Recharge Zone District and “R-6 ERZD” Single-Family Residential Edwards Recharge Zone District on 15.492 acres out of NCB 34920 located at the southeast corner of Bulverde Road and Canyon Parkway.

8. **ZONING CASE NUMBER Z2011142 ERZD (Council District 8):** A request for a change in zoning from “QD S MLOD ERZD AHOD” Quarry Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District with a Specific Use Authorization for Blasting and Asphaltic Concrete and “QD CD S MLOD ERZD AHOD” Quarry Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District with a Conditional Use and a Specific Use Authorization for Blasting and Asphaltic Concrete to “MF-18 MLOD ERZD AHOD” Limited Density Multi-Family Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District on 8.552 acres and “C-2 MLOD ERZD AHOD” Commercial Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District on 21.599 acres on 30.151 acres out of NCB 17700 located northwest of the intersection of North Loop 1604 West and Northwest Military Highway.
9. **ZONING CASE NUMBER Z2011148 ERZD (Council District 9):** A request for a change in zoning from “C-3 MLOD ERZD” General Commercial Military Lighting Overlay Airport Hazard Overlay District to “MF-25 MLOD ERZD” Low Density Multi-Family Military Lighting Overlay Airport Hazard Overlay District on 23.849 acres out of NCB 19218 located northwest of the intersection of U. S. Highway 281 North and Stone Oak Parkway.
10. **ZONING CASE NUMBER Z2010105 CD (Council District 4):** A request for a change in zoning from “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District to “C-2 CD AHOD” Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair on P-15H, Abstract 16, NCB 15655, 4906 West Military Drive.
11. **ZONING CASE NUMBER Z2011169 (Council District 7):** A request for a change in zoning from “MH AHOD” Manufactured Housing Airport Hazard Overlay District to “L AHOD” Light Industrial Airport Hazard Overlay District on 4.252 acres out of Lot 1, Block 2, NCB 18562, 7512 Bandera Road.
12. **ZONING CASE NUMBER Z2011171 (Council District 5):** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District to “R-3 AHOD” Residential Single-Family Airport Hazard Overlay District on the south 75 feet of CIR 1 part of A8, NCB 2569, 301 Clay Street.
13. **ZONING CASE NUMBER Z2011172 (Council District 2):** A request for a change in zoning from “R-5 H AHOD” Residential Single-Family Government Hill Historic Airport Hazard Overlay District to “NC IDZ H AHOD” Neighborhood Commercial Infill Development Zone Government Hill Historic Airport Hazard Overlay District on Lot 14, Block 8, NCB 1276, 309 Pierce Street.
14. **ZONING CASE NUMBER Z2011175 (Council District 8):** A request for a change in zoning from “R-6 AHOD MSAO-1 MLOD-1” Residential Single-Family Airport Hazard Overlay District Camp Bullis Military Sound Attenuation Overlay District-1 Camp Bullis Military Lighting Overlay District-1 to “O-1 AHOD MSAO-1 MLOD-1” Office Airport Hazard Overlay District Camp Bullis Military Sound Attenuation Overlay District-1 Camp Bullis Military Lighting Overlay District-1 on Parcel 12, NCB 34725, 6912 Camp Bullis Road.
15. **ZONING CASE NUMBER Z2011176 (Council District 2):** A request for a change in zoning from “I-1 AHOD” General Industrial Airport Hazard Overlay District to “C-2 AHOD” Commercial Airport Hazard Overlay District on 0.0242 of an acre out of NCB 1361, 706 North New Braunfels Avenue.
16. **ZONING CASE NUMBER Z2011177 CD (Council District 7):** A request for a change in zoning from “R-6 AHOD” Residential Single-Family Airport Hazard Overlay District to “C-2 CD AHOD” Commercial Airport Hazard Overlay District with a Conditional Use for a Self Service Storage on Lot 7, Lot 8, Lot 9 and Lot 10, Block 23, NCB 18113, Wurzbach Road.

17. **ZONING CASE NUMBER Z2011178 (Council District 3):** A request for a change in zoning from “C-3” General Commercial District and “I-1” General Industrial District to “C-3” General Commercial District on Lots 31 and 33, NCB 10846, 4606 & 4614 E Southcross Boulevard.
18. **ZONING CASE NUMBER Z2011179 (Council District 2):** A request for a change in zoning from “R-6” Residential Single-Family District to “R-4” Residential Single-Family District on 62.273 acre tract of land out of NCB 35132 located at Foster Road and Foster Meadows Drive (Foster Meadow Subdivision).
19. **ZONING CASE NUMBER Z2011180 (Council District 2):** A request for a change in zoning from “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District, “R-4” Residential Single-Family District and “C-1” Light Commercial District to “C-2 AHOD” Commercial Airport Hazard Overlay District and “C-2” Commercial District on Lots 5, 8, 18 through 22, and the north 40 feet of Lot 9, Block 1, NCB 10331 generally located at the southwest corner of Roland Avenue & Aurelia Street.
21. **ZONING CASE NUMBER Z2011184 (Council District 3):** A request for a change in zoning from “C-2NA” Commercial Nonalcoholic Sales District to “R-6” Residential Single-Family District on Lot 1, Block 2, NCB 7521, save and except that portion conveyed to the City of San Antonio in Volume 4752, Page 172, Real Property Records of Bexar County located at 1702 Rigsby Avenue.
22. **ZONING CASE NUMBER Z2011185 (Council District 2):** A request for a change in zoning from multiple zoning districts to multiple zoning districts to add the Westfort Alliance Neighborhood Conservation District-9 on multiple lots generally bound by Brackenridge and Beebe Loop streets to the north, North Pine Street to the east, East Josephine Street to the south, and Broadway to the west.
23. **ZONING CASE NUMBER Z2011186 S (Council District 8):** A request for a change in zoning from “MF-33 AHOD” Multi Family Airport Hazard Overlay District to “C-2 S AHOD” Commercial Airport Hazard Overlay District with a Specific Use Authorization for a Hospital on the southwest 315 feet of the west 310 feet of Lot 40, Block 1, NCB 12811 (also known as 2.241 acres out of NCB 12811), 1975 Babcock Road.
24. **ZONING CASE NUMBER Z2011187 (Council District 5):** A request for a change in zoning from “C-2 AHOD” Commercial Airport Hazard Overlay District to “C-2 IDZ AHOD” Commercial Infill Development Zone Airport Hazard Overlay District on Lot 23, Block 10, NCB 2249, 407 North Zarzamora.
25. **Executive Session:** consultation on attorney-client matters (real estate, litigation, personnel and security matters) as well as any of the above agenda items may be discussed.
26. **ADJOURNMENT.**

Accessibility Statement

This meeting is wheelchair accessible. Accessible entrances are located at the front and side of the building at 1901 South Alamo Street. Accessible parking spaces are located at the front and rear of the building. **Auxiliary Aids and Services are available upon request (Interpreters for the Deaf must be requested forty-eight [48] hours prior to the meeting).** For Assistance, Call (210) 207-7245 Voice/TTY.



Zoning Case Notification Plan

Case Z-2011-135

Council District 5

Scale: 1" approx. = 200 ft.

Subject Property Legal Description(s): NCB 08284 - Block 017 - Lots 15 thru 24 and NCB 08280 - Block 018 - Lots 34, 49 and Parcel P-100

Legend

- Subject Properties (1.756 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
 City of San Antonio
 (08/02/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011135

Hearing Date: September 20, 2011

Property Owner: Mireles Properties, LLC.

Applicant: Lupe Mireles

Representative: Jose Gallegos

Location: 414, 418 and 422 North General McMullen Drive

Legal Description: Lot 34, Block 18, NCB 8280 together with that portion of Colby Street adjacent to and north of Lot 34 abandoned by Ordinance No. 98915 of the City of San Antonio (also known as P-100 by the Bexar County Appraisal District), Lot 49, Block 18, NCB 8280, and Lots 15 through 24, Block 17, NCB 8284

Total Acreage: 1.7562

City Council District: 5

Case Manager: Andreina Dávila-Quintero, Planner

Case History: This is the second public hearing for this zoning case. The applicant requested this case be postponed on May 19, 2011. On July 15, 2011, the applicant submitted a request for this case to be scheduled for the August 16, 2011 Zoning Commission Public Hearing. The case was continued from the August 16, 2011 Zoning Commission Public Hearing. The case was continued from the September 6, 2011 Zoning Commission Public Hearing due to lack of quorum.

Proposed Zoning Change

Current Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District and "C-2 CD AHOD" Commercial Airport Hazard Overlay District with a Conditional Use for Mini-Storage Units

Requested Zoning: "C-3 AHOD" General Commercial Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code ("UDC"). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on July 29, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on August 3, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on August 12, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 35

Neighborhood Associations: Prospect Hill Neighborhood Association. The Loma Vista Neighborhood Association is located within two hundred (200) feet of the subject properties.

Planning Team Members: None

Applicable Agencies: None

Property Details

Property History: The subject properties were annexed on August 3, 1944 (Ordinance No. 1258), and were zoned “JJ” Commercial District and “C” Apartment District. Upon the adoption of the 2001 UDC, the previous base zoning districts were converted to the “I-1” General Industrial and “MF-33” Multi-Family Residential districts, respectively. In February 2002, the current property owner submitted a request to rezone the northern half of the subject properties (Lots 15 through 24, Block 17, NCB 8284) to “C-3” General Commercial district; however, on April 11, 2002, the City Council approved “C-2 CD” Commercial District with a Conditional Use for Mini-Storage Units (Ordinance No. 95609) rather than the “C-3” General Commercial District requested by the owner. Thereafter, on January 8, 2004, the City Council approved the rezoning of the southeast portion of the subject properties (Lots 31 through 34, Block 18, NCB 8280) to “C-2” Commercial District (Ordinance No. 98679). On March 4, 2004, the City Council approved the abandonment of an unimproved portion of Colby Street public right-of-way in the Rosedale Park Addition immediately adjacent to the park and abutting the subject properties. On May 25, 2004, Lots 25 through 33 and the portion of Colby Street immediately to the north of these lots were replatted into Lot 49 (Volume 9561, Page 86, Deed and Plat Records of Bexar County, Texas). Lastly, on May 17, 2007, the City Council approved the rezoning of the southwest portion of the subject properties (Lot 49, Block 18, NCB 8284) to “C-2” Commercial District.

The subject properties consist of a retail shopping center with three (3) buildings (414, 418 and 422), which were built between 2002 and 2004 according to the Bexar County Appraisal District.

Topography: The subject properties do not include any abnormal physical features such as significant slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: “C-3 CD S” General Commercial with a Conditional Use for Heavy Equipment Repair and a Specific Use Authorization for a Contractor Facility, and “MF-33” Multi-Family Residential districts

Current Land Uses: Commercial use and vacant

Direction: South

Current Base Zoning: “C-2 CD” Commercial with a Conditional Use for Auto Sales and “R-5” Single-Family Residential districts

Current Land Uses: Used Car Sales and Rosedale Park

Direction: East

Current Base Zoning: “R-5” Single-Family Residential district

Current Land Uses: Rosedale Park

Direction: West

Current Base Zoning: “C-2” Commercial and “MF-33” Multi-Family Residential districts

Current Land Uses: Medical Clinic and Apartments

Overlay and Special District Information: All surrounding properties carry the “AHOD” Airport Hazard Overlay District due to their proximity to an airport or approach path. The “AHOD” does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration (“FAA”).

Transportation

Thoroughfare: North General McMullen Drive

Existing Character: Primary Arterial Type A, three (3) lanes each way with a median or center lane

Proposed Changes: None known

Public Transit: VIA bus lines 79 and 524 operate along General McMullen in front of the subject properties with bus stops located at the intersections of North General McMullen and Dartmouth Street, and Ruiz Street. VIA bus line 524 terminates at the Crossroads Park and Ride facility.

Traffic Impact: A Traffic Impact Analysis (“TIA”) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Table 526-3 of the UDC establishes the minimum and maximum number of parking spaces required on a property. The number of parking spaces required on the subject property will be determined by the existing and proposed uses, as well as the size of the structures.

Staff Analysis and Recommendation: Denial.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject properties are not within a Neighborhood or Community Plan. However, one (1) of the goals of the City’s Master Plan is to ensure that proposed land uses and development are compatible in their use, character and size to the site and the surrounding areas. The subject properties have a range of service, retail and office uses that are consistent with the current “C-2” Commercial base zoning district, and are compatible with the surrounding land uses and zoning districts. The proposed “C-3” General Commercial zoning district would allow uses that are more intense in nature, and will have a greater impact on the surrounding areas. With Rosedale Park, Jose Cardenas Elementary School, Gus Garcia Middle School and Bexar Creek Apartments, all of which are located within two hundred (200) feet of the subject properties, it is staff’s professional opinion that the proposed “C-3” General Commercial zoning district is neither appropriate for the subject properties, nor consistent with the City’s Master Plan.

2. Adverse Impacts on Neighboring Lands:

The proposed “C-3” General Commercial zoning district is designed to provide for more intense uses that are typically characterized as community and regional power centers such as shopping malls, movie theaters, hospitals and wholesalers, among others. Due to its classification, the “C-3” General Commercial base zoning district is best located at intersections of major arterials and within commercial nodes. With the exception of the properties to the north, the subject properties are surrounded by zoning districts and uses that are less intense than the range of uses allowed in the proposed “C-3” General Commercial zoning district, and which are more compatible with the existing “C-2” Commercial District. The proposed “C-3” General Commercial District would allow land uses that will adversely impact the neighboring properties to the east (Rosedale Park) and west (Bexar Creek Apartments), as well as other properties within the vicinity. Samples of incompatible uses include bars, nightclubs, auto sales and repair facilities.

3. Suitability as Presently Zoned:

The “C-2” Commercial zoning district accommodates commercial and retail uses that are more intensive in character than neighborhood or light commercial, and which generate a greater volume of vehicular or truck traffic. The existing retail shopping center has a variety of service, retail and office uses, which are compatible with the current “C-2” Commercial base zoning district. The subject properties may continue to be used as a retail shopping center with the current zoning district. Moreover, the applicant has the option to apply to rezone the subject properties (in whole or in part) with a conditional use for an assortment of uses that are best suited in a more intensive commercial district without altering the base zoning districts of the subject properties, or character of the area.

4. Health, Safety and Welfare:

The approval of the requested “C-3” General Commercial zoning district would allow more intense commercial uses increasing traffic, noise, and lighting in the area. In addition, staff has found no evidence that a substantial public need exists for the proposed rezoning.

5. Public Policy:

In 2007, the City Council directed city staff to initiate the rezoning of the North General McMullen area between Culebra Road to the north and West Commerce Street to the south due to the incompatibility of existing land uses with the zoning districts that resulted from the adoption of the 2001 UDC. The intent was to downzone properties to a less intense zoning district so that the properties are brought into compliance with the current provisions of the UDC. In addition, the intention of the down-zoning of these properties was to provide the most appropriate zoning to the current land uses, and thus, protect current business owners from future non-conforming uses. This rezoning case resulted in a number of properties fronting North General McMullen Drive being downzoned to the lowest intense zoning district possible depending on the existing business and uses on site. The majority of the southern half of the subject properties was subject to the North General McMullen area rezoning case. Due to the existing retail and service type uses, this portion of the subject properties was downzoned to "C-2" Commercial District.

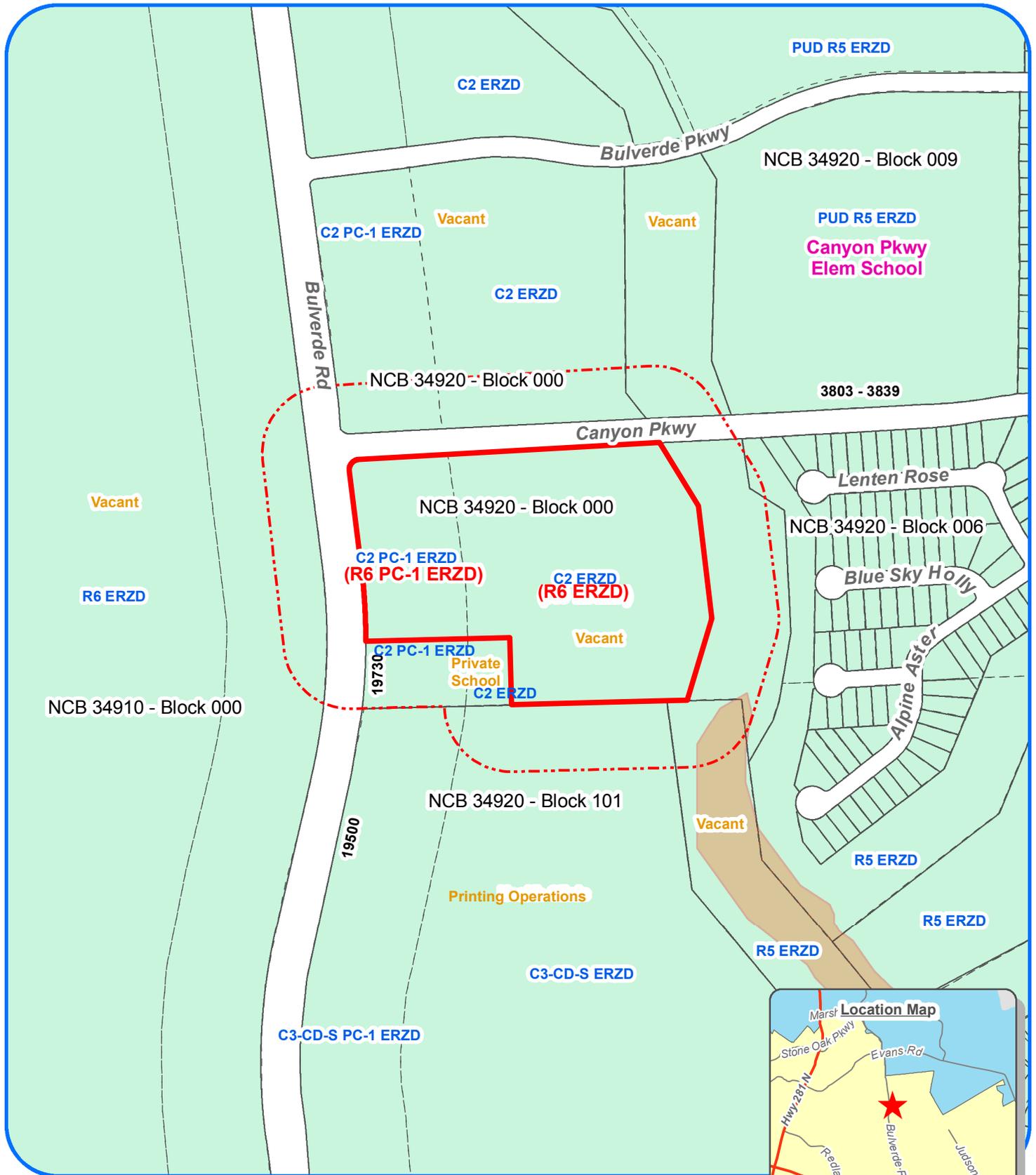
6. Size of Tract:

The subject properties comprise of a total area of approximately 1.76 acres, which is adequate size for the existing and proposed zoning districts. Additionally, the subject properties comply with the 20-foot minimum lot street frontage requirement of the "C-2" Commercial and "C-3" General Commercial base zoning districts as established by the UDC.

7. Other Factors:

Since the adoption of the 2001 UDC, the subject properties have been rezoned multiple times, all of which resulted in the subject properties having the "C-2" Commercial zoning district. At present, there have been no significant changes within the area or changes in development patterns that result in the need of a higher zoning classification than what already exists.

Furthermore, while the subject properties are not located within a Neighborhood or Community Plan, it should be noted that in 2011, the City adopted the West/Southwest Sector Plan that extends to the west side of North General McMullen Drive. Per the West/Southwest Sector Plan, the properties to the west of the subject properties are within the General Urban Tier, which is characterized as urbanized areas where frequent and/or attached retail services are appropriate. Within the General Urban Tier, the highest zoning district allowed is "C-2" Commercial District. While staff recognizes that the subject properties are not located within the boundaries of this land use plan, it is appropriate planning practice to recommend that both block-faces develop in a cohesive, thoughtful pattern. Therefore, the proposed "C-3" General Commercial zoning district is also inconsistent with the recommended future development along North General McMullen Drive.



Zoning Case Notification Plan

Case Z-2011-139 ERZD

Council District 10

Scale: 1" approx. = 400 ft.

Subject Property Legal Description(s): 15.492 acres out of NCB 34920

Legend

- Subject Properties ——— (15.492 Acres)
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change (TEXT)
- 100-Year DFIRM Floodplain
- Single Family Residential 1R



Development Services Dept
City of San Antonio
(05/31/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011139 ERZD

Hearing Date: September 20, 2011

Property Owner: The Capital Foresight, L. P.

Applicant: The Capital Foresight, L. P.

Representative: Andrew C. Guerrero

Location: Located at the southeast corner of Bulverde Road and Canyon Parkway.

Legal Description: 15.492 acres out of NCB 34920

Total Acreage: 15.492

City Council District: 10

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "C-2 PC-1 ERZD" Commercial Bulverde Preservation Corridor Overlay Edwards Recharge Zone District and "C-2 ERZD" Commercial Edwards Recharge Zone District

Requested Zoning: "R-6 PC-1 ERZD Single-Family Residential Bulverde Preservation Corridor Overlay Edwards Recharge Zone District and "R-6 ERZD" Single-Family Residential Edwards Recharge Zone District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 7

Neighborhood Associations: None

Planning Team Members: 41 (North Sector Plan)

Applicable Agencies: The San Antonio Water System

Property Details

Property History: The subject property is currently undeveloped. The property was annexed in 2000 and was originally zoned “B-2” Business District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to “C-2” Commercial District. In a 2010 case, the PC-1 Preservation Corridor was applied to properties within 300 feet of the right-of-way boundary line of Bulverde Road between Evans Road to the north and North Loop 1604 East to the south. The applicant is requesting a zoning change in order to allow the construction of a residential subdivision.

Topography: The property is relatively flat with a slight slope, and an abundance of grasses, shrubs and trees.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: C-2

Current Land Uses: Vacant land

Direction: South

Current Base Zoning: C-2

Current Land Uses: School and Educational Book Publishing

Direction: West

Current Base Zoning: R-6

Current Land Uses: Vacant land

Direction: East

Current Base Zoning: R-5

Current Land Uses: Drainage easement and Single-family residences

Overlay and Special District Information: None

Transportation

Thoroughfare: Bulverde Road

Existing Character: Primary Arterial Type A; 1 lane in each direction

Proposed Changes: None known.

Thoroughfare: Canyon Parkway

Existing Character: Local B Street; 1 lane in each direction

Proposed Changes: None known.

Public Transit: There is no mass transit service currently available to the subject property.

Traffic Impact: A Traffic Impact Analysis is not required.

Parking Information: Single-family residences are required to provide one parking space per unit.

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The property is located within the North Sector Plan and is currently designated as “Suburban Tier” which includes a range of use classifications from low density residential to community commercial uses. The zoning request and current zoning are both consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

Staff has found no evidence of adverse impacts that may be caused by approval of the requested zoning. The request supports the adopted land use plan. While the down-zoning of this single property could impose buffer requirements on new development of the adjacent property, this property is already developed. Existing properties are not required to conform to the buffer regulations unless new construction occurs. Additionally, the nearby single-family neighborhood has separate road access and is buffered from the proposed single-family development by a large, densely vegetated drainage easement.

3. Suitability as Presently Zoned:

The current commercial zoning and proposed residential zoning are both appropriate for the area. Staff believes the proposed use will be compatible with the surrounding land uses and overall character of the area. Bulverde Road is identified as a Primary Arterial "Type A" roadway in the City's Major Thoroughfare Plan. Typically, residential development is not encouraged with frontage on major arterial streets; however, the subject property is large enough to accommodate a residential subdivision with internal streets.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

The request is consistent with the Sector Plan, which is a component of the City's Master Plan.

6. Size of Tract:

The subject property measures approximately 15 acres, which appears to be adequate for the proposed use.

The R-6 district requires a minimum lot size of 6,000 square feet and allows up to 7 dwelling units per acre. Should the requested rezoning be approved, the subject property may accommodate a residential development with up to approximately 105 dwelling units. The applicant is proposing a total of 53 residential lots for the entire site.

7. Other Factors:

SAWS identifies the subject property as a Category 2 property. SAWS staff recommends approval of the zoning request, provided that the impervious cover shall not exceed 38% on the site.

The Bulverde Road Preservation Corridor development standards do not apply to residential development in platted subdivisions; with the exception of materials used for perimeter subdivision fences/walls.

SAN ANTONIO WATER SYSTEM
Interdepartment Correspondence Sheet

DEVELOPMENT SERVICES
RECEIVED
2011 AUG -4 PM 3: 06

To: Zoning Commission Members

From: Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

Copies To: Scott R. Halty, Director, Resource Protection & Compliance Department, Mike Barr, Environmental Protection Specialist III, Aquifer Protection & Evaluation Section, File

Subject: Zoning Case Z2011139 (Harper Oaks)

Date: August 5, 2011

SUMMARY

A request for a change in zoning has been made for an approximate 15.5-acre tract located on the city's north side. A change in zoning from **C-2 PC-1 ERZD & C-2 ERZD** to **R-6 PC-1 ERZD & R-6 ERZD** is being requested by the applicant, Andy Guerrero. The change in zoning has been requested to allow for a residential, single-family development. The property is classified as Category 2 property.

Based on the site evaluation of the property, and the information submitted by the applicant, SAWS staff recommends **approval** of the proposed land use. Should the City Council rezone the property that is the subject of this report, the San Antonio Water System recommends that any development on that property after the zoning classification has been changed should be restricted as stated in the environmental recommendations section of this report.

LOCATION

The subject property is located in City Council District 10, at the southeast corner of Bulverde Road and Canyon Parkway. The property lies within the Edwards Aquifer Recharge Zone (Figures 1 and 2).

SITE EVALUATION

1. Development Description:

The proposed change is from **C-2 PC-1 ERZD & C-2 ERZD** to **R-6 PC-1 ERZD & R-6 ERZD** and allow for a residential, single-family development. Currently the site is an undeveloped tract of land.

2. Surrounding Land Uses:

The Pinnacle Montessori School lies immediately to the south of the subject tract. The Woodview at Bulverde Creek Subdivision is located east of the subject tract. Canyon Parkway and Bulverde Road lie west and north of the tract

3. Water Pollution Abatement Plan:

The Water Pollution Abatement Plan (WPAP) for Harper Oaks has been submitted to the Texas Commission on Environmental Quality (TCEQ) on July 6, 2011 and is waiting for approval. According to the geologic assessment in the WPAP, there are no sensitive geologic features located on the site.

4. Geologic Conditions:

The Resource Protection Division of the San Antonio Water System conducted a site evaluation on May 23, 2011, of the referenced property to assess the geologic conditions and evaluate any environmental concerns present at the site. SAWS Environmental Geologist, Joan B. Falkenberg, P.G., was present during the site evaluation.

- A. The subject site was observed as a single lot, currently undeveloped and in a natural state. Portions of the site were covered by bedrock and bedrock float. The subject site was observed to have a moderate soil cover, thick vegetation, trees and tall grassy areas with leaf litter covering many parts of the site. According to the geologic assessment, two geologic features were identified on the tract consisting of two small closed depressions. No significant geologic features were observed during the site visit.

The topography of the site slopes from the northwest to the southeast. Stormwater occurring on the subject site would drain easterly toward an unnamed tributary to Elm Water Hole Creek.

- B. Using U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by three geologic members of the Edwards Aquifer. The majority of the site is underlain by the Leached and Collapsed members of the Person Formation and characterized by the presence of bioturbated iron stained beds separated by massive limestone beds. A full section thickness of this member is approximately 70 to 90 feet thick. The easterly property boundary is underlain by the Regional Dense member and is characterized by a dense argillaceous mudstone with an overall thickness in full section of 20 to 24 feet. The southeast corner is underlain by the Grainstone member of the Kainer Formation and is characterized by grainstone and mudstones with a full section being 50 to 60 feet in thickness.

- C. The site does not lie within a floodplain preservation area.

ENVIRONMENTAL CONCERNS

The environmental concerns associated with this development being constructed on the Edwards Aquifer Recharge Zone are:

General Concerns

1. The improper use of pesticides, herbicides, or fertilizers needed for landscape maintenance that may be carried off in the first flush of stormwater run-off.
2. The build-up of hydrocarbons and other pollutants on streets, parking lots and other paved areas that are then carried off in the first flush of stormwater run-off.

ENVIRONMENTAL RECOMMENDATIONS

The following recommendations address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:

Site Specific Recommendations

1. The impervious cover shall not exceed 38% on the site.
2. The SAWS recommendation of 38% maximum impervious cover for the 15.5 acres is based on the fact that the tract has no sensitive geologic features, there is no floodplain on the tract, and SAWS would prefer a single-family development over a commercial or multi-family use. This type of land use would also result in a lower impervious over.
3. The land uses within the zoned areas shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at that site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as prohibited, that land use will not be permitted on that site.
4. The owner of all water pollution abatement structures shall be responsible for properly maintaining the basin and that it is kept free of trash and debris. A signed water quality maintenance plan must be submitted to the Resource Protection Division of SAWS. If at any time the ownership of the property changes, the seller must disclose to the buyer all the requirements of the water quality maintenance plan. The new owner must submit a signed water quality maintenance plan to the Resource Protection Division of SAWS.

5. Landscaped areas shall be sensitive to minimizing water needs, i.e., use of native plants. Each purchaser of an individual lot or tenant within this development shall be informed by the seller or lessor in writing about Best Management Practices (BMP) for pesticide and fertilizer application. Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210/222-2204), or equivalent information produced by the U.S. Natural Resource Conservation Service, Texas Department of Agriculture, U.S.D.A, shall be used.
6. The applicant shall notify the Construction Compliance Section of the Resource Compliance Division of SAWS at (210) 233-3564 no later than 48 hours prior to the commencement of construction at the site. If any significant geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the SAWS at (210) 233-3526.
7. If any sensitive geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the San Antonio Water System at (210) 233-3526.

General Recommendations

1. Prior to the release of any building permits the owner/operator of any Category 2 property shall submit an Aquifer Protection Plan to the Resource Protection Division of the San Antonio Water System.
2. Prior to the release of any building permits, the following shall be submitted to the SAWS Aquifer Protection & Evaluation Section of the Resource Protection Division:
 - A. A copy of the Water Pollution Abatement Plan (WPAP) shall be submitted for each particular development/use within the area being considered for re-zoning,
 - B. A set of site specific plans which must have a signed Engineers Seal from Texas,
 - C. A WPAP approval letter from the Texas Commission on Environmental Quality,
 - D. A copy of the approved Water Pollution Abatement Plan.
3. The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal law.

4. If a water quality basin is constructed on the property, the following is required:
 - A. Below grade basins shall not be allowed to be constructed on the site.
 - B. Prior to the start of the basin construction, the owner will notify San Antonio Water System at (210) 233-3526 to schedule a site inspection.
 - C. After basin construction is complete and prior to the start of business, the owner will notify the SAWS Aquifer Protection and Evaluation Section at (210) 233-3526 to schedule a site inspection. Additionally, we recommend a maintenance plan and schedule be developed and submitted to San Antonio Water System, Aquifer Protection and Evaluation Section.
 - D. If the basin fails to drain properly, the owner will notify the Construction Section of the Resource Compliance Division at (210) 233-3564 prior to any discharge of water.
 - E. If at any time the ownership of the property changes, the seller must inform the buyer of all requirements for maintenance of the Basin. A signed basin maintenance plan and schedule agreement, from the new owner, must be submitted to the SAWS.
5. The City of San Antonio shall inspect all future construction of the sewage collection system to include service laterals and sewer mains for proper construction according to State and City Regulations and Code.
6. The Resource Protection Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

Zoning Commission Members
Zoning Case Z2011139 (Harper Oaks)
Page 6

Based on the site evaluation of the property, and the information submitted by the applicant, staff recommends **approval** of the proposed land use. Additionally, SAWS staff recommends that the applicant, or any future owner, comply with the above recommendations in regards to the development of the subject property.



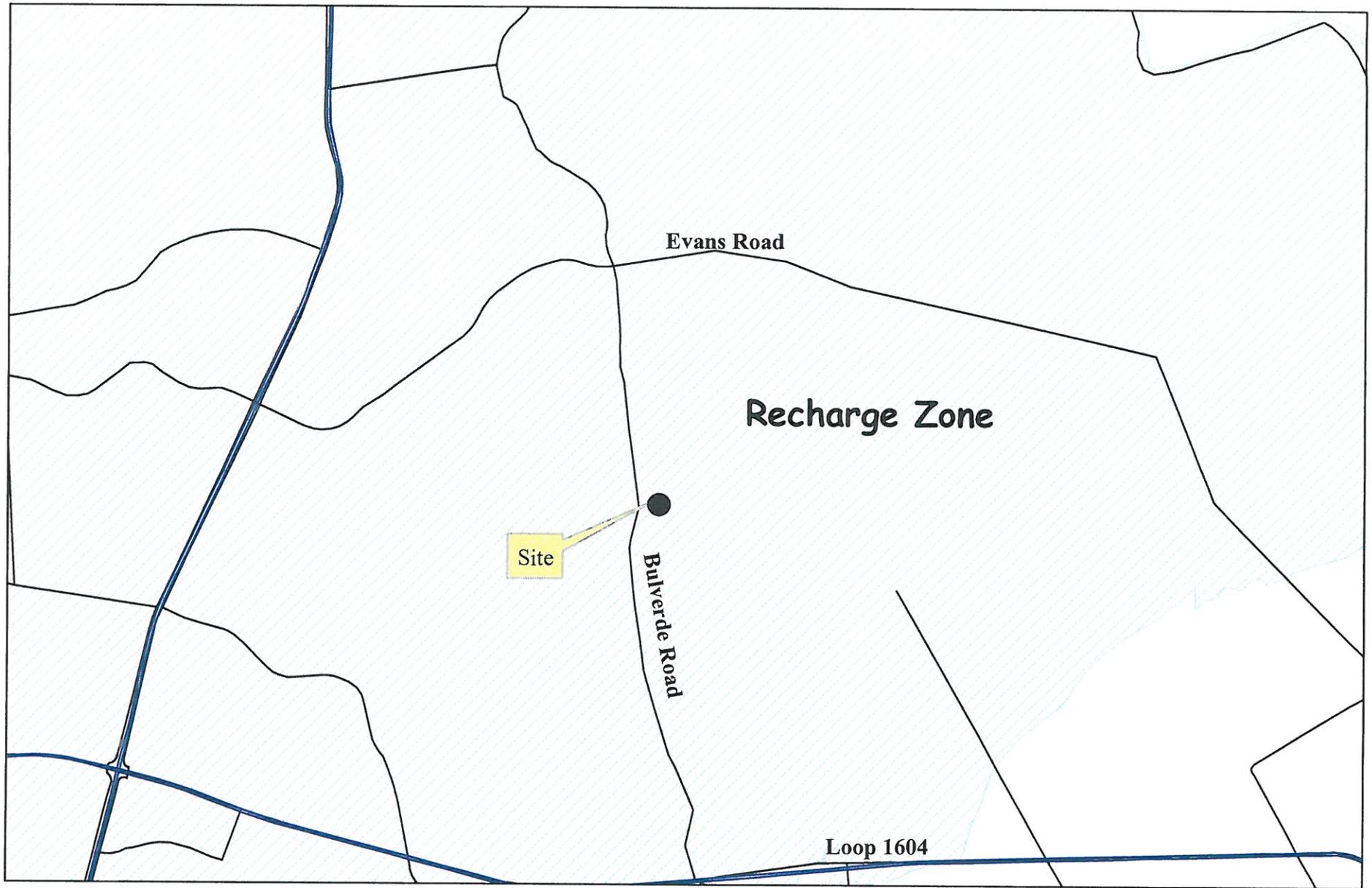
Kirk M. Nixon
Manager
Resource Protection Division

APPROVED:



Scott R. Halty
Director,
Resource Protection & Compliance Department

KMN:MJB

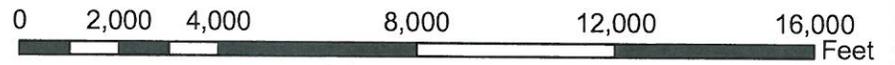


Zoning Case No. Z2011139 Figure 1

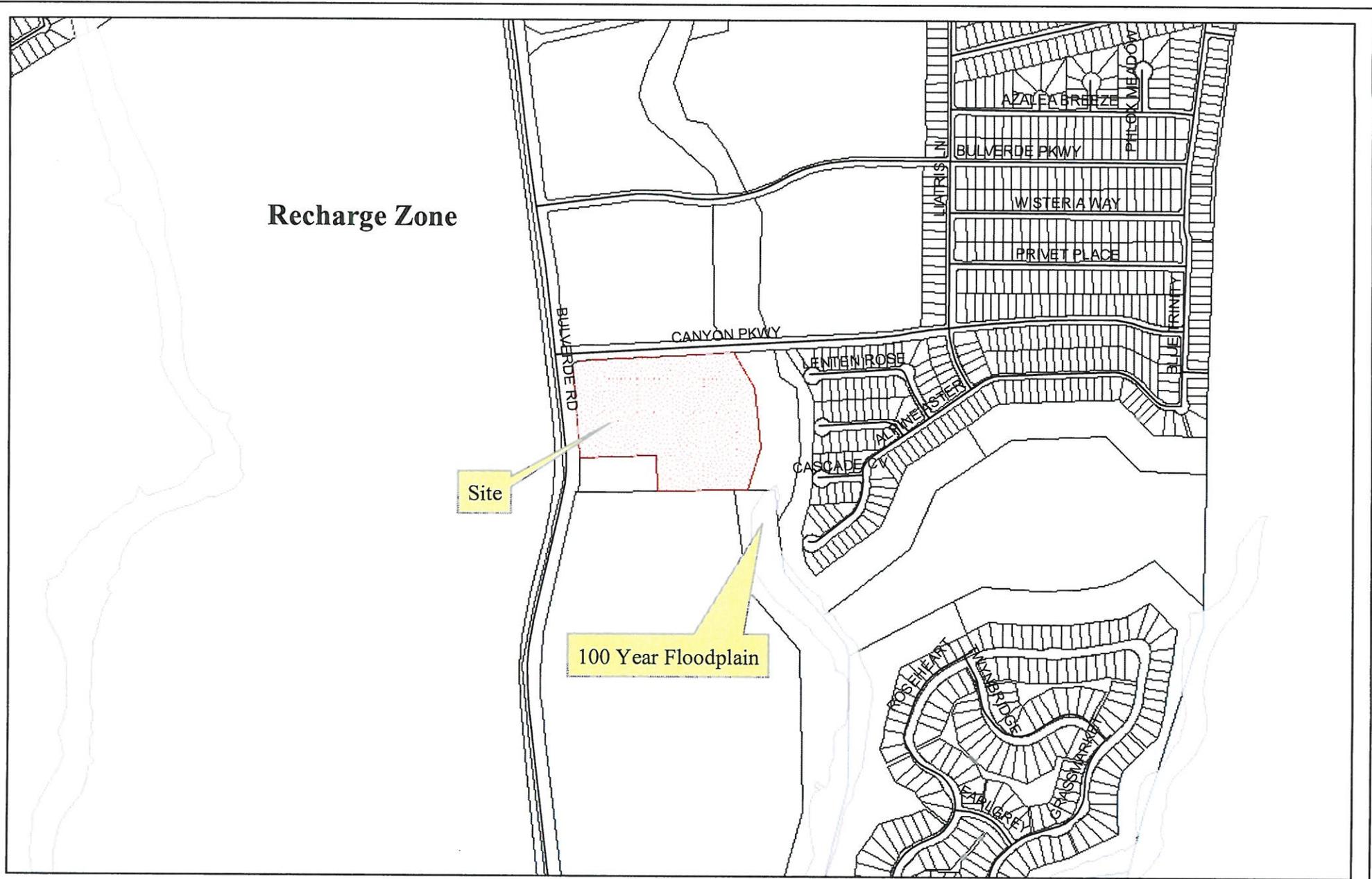
Harper Oaks

Map Page 484 B7

Map Prepared by Aquifer Protection and Evaluation MJB 5/17/2011



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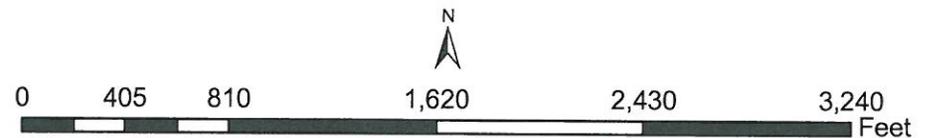


Zoning Case No. Z2011139 Figure 2

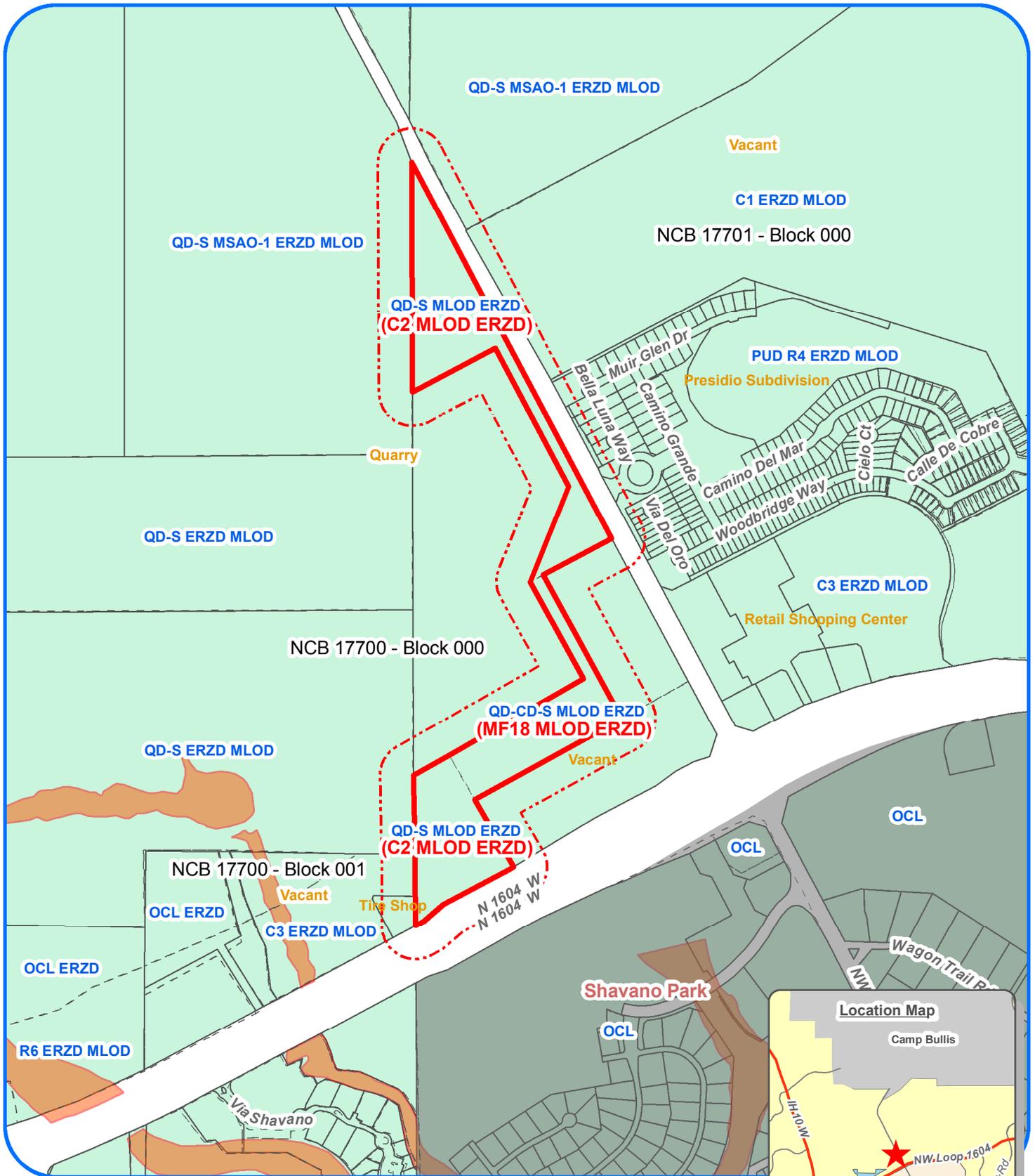
Harper Oaks

Map Page 484 B7

Map Prepared by Aquifer Protection and Evaluation MJB 5/17/2011



1:8,951



Zoning Case Notification Plan

Case Z-2011-142 ERZD

Council District 8

Scale: 1" approx. = 800 ft.

Subject Property Legal Description(s): 30.151 acres out of NCB 17700

Legend

- Subject Properties ——— (30.151 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/01/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011142 ERZD

Hearing Date: September 20, 2011

Property Owner: MH-11 Development Ltd., (Jean Rogers Winchell, President)

Applicant: The Rogers Shavano Ranch, Ltd.

Representative: Brown & Ortiz, P. C. (James Griffin)

Location: Located northwest of the intersection of North Loop 1604 West and Northwest Military Highway.

Legal Description: 30.151 acres out of NCB 17700

Total Acreage: 30.151

City Council District: 8

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "QD S MLOD ERZD AHOD" Quarry Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District with a Specific Use Authorization for Blasting and Asphaltic Concrete and "QD CD S MLOD ERZD AHOD" Quarry Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District with a Conditional Use and a Specific Use Authorization for Blasting and Asphaltic Concrete

Requested Zoning: "MF-18 MLOD ERZD AHOD" Limited Density Multi-Family Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District on 8.552 acres and "C-2 MLOD ERZD AHOD" Commercial Military Lighting Overlay Edwards Recharge Zone Airport Hazard Overlay District on 21.599 acres

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 26

Neighborhood Associations: None

Planning Team Members: 41 (North Sector Plan)

Applicable Agencies: The San Antonio Water System and The Camp Bullis Military Training Site

Property Details

Property History: The subject property is currently undeveloped. The property was annexed in 1985 and was originally zoned “Temp R-1 ERZD” Temporary Single-Family Residence Edwards Recharge Zone District.

- In a 1998 rezoning case (Z98146 CC), a portion of the subject property was rezoned from “Temp R-1” Temporary Single-Family Residence District to “R-1 ERZD” Single-Family Residence Edwards Recharge Zone District and “QD ERZD CC” Quarry Edwards Recharge Zone District with City Council approval for Blasting and Asphaltic Concrete.
- In a 2001 rezoning case (Z2001060), a portion of the subject property was rezoned from “R-1 ERZD” Single-Family Residence Edwards Recharge Zone District to “SUP QD ERZD CC” Special Use Permit Quarry Edwards Recharge Zone District with Special City Council Approval for Blasting and Asphaltic Concrete.
- Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to "QD S ERZD AHOD" Quarry Edwards Recharge Zone Airport Hazard Overlay District with a Specific Use Authorization for Blasting and Asphaltic Concrete and "QD CD S ERZD AHOD" Quarry Edwards Recharge Zone Airport Hazard Overlay District with a Conditional Use and a Specific Use Authorization for Blasting and Asphaltic Concrete.

The applicant is requesting a zoning change in order to allow a multi-family and commercial development.

Topography: The property has an abundance of grasses, shrubs and trees with a slight slope.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: QD and C-2

Current Land Uses: Quarry and Vacant land

Direction: South

Current Base Zoning: C-2 and OCL

Current Land Uses: Vacant land and Shavano Park

Direction: East

Current Base Zoning: C-3, C-1 and R-4

Current Land Uses: Commercial uses, Vacant land and Single-family residences

Direction: West

Current Base Zoning: QD

Current Land Uses: Quarry

Overlay and Special District Information: All surrounding properties carry the "ERZD" Edwards Recharge Zone District. The "ERZD" does restrict permitted uses, due to the environmentally sensitive nature of the recharge zone. Per Chapter 34 of the City of San Antonio Code of Ordinances, the San Antonio Water System (SAWS) and City of San Antonio departments share regulatory jurisdiction over development within the “ERZD”.

All surrounding properties carry the "MLOD" Military Lighting Overlay District, due to their proximity to Camp Bullis. The "MLOD" regulates outdoor lighting in an effort to minimize night-time light pollution and its effects on operations at the military installation.

All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: North Loop 1604 West

Existing Character: Freeway; 8 lanes

Proposed Changes: None known

Thoroughfare: Northwest Military Highway

Existing Character: Primary Arterial Type A; 2 lanes in each direction

Proposed Changes: None known

Public Transit: The nearest VIA busline is the number 97 that operates along Northwest Military Highway.

Traffic Impact: A Traffic Impact Analysis is required.

Parking Information: The zoning request generally refers to proposed retail commercial uses. Parking requirements are determined by use and, often size of the development; therefore, staff cannot calculate future parking requirements for the subject property. However, the property as a whole is of sufficient size to accommodate a commercial structure and parking. The requested zoning district does not carry specific locational requirements for parking.

The minimum parking requirement for multi-family dwellings in a MF-18 zoning designation is 1.5 per unit and the maximum parking requirement is 2 per unit.

Staff Analysis and Recommendation: Approval of C-2 and Denial of MF-18

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The property is located within the North Sector Plan and is currently designated as “Suburban Tier” in the Future Land Use Section. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

Staff finds no likely adverse impacts of the requested C-2 zoning change on neighboring properties. The requested C-2 is an expansion of the current C-2 located at the corner of the intersection of Northwest Military Highway and North Loop 1604 North. Medium intensity commercial zoning is most appropriate along arterials or major thoroughfares.

However, staff has concerns related to the requested MF-18. The property is directly adjacent to the Martin-Marrietta quarry, which currently has a specific use authorization and a conditional use for blasting and asphaltic concrete. The location of the proposed multi-family development directly adjacent to the current egress/ingress of the quarry as well as the typical noise, dust and large truck traffic generated by a quarry operation could have negative impacts on the proposed multi-family development.

3. Suitability as Presently Zoned:

The adopted North Sector Plan identifies the subject property as Suburban Tier and all surrounding areas as Mixed Use Center in the Future Land Use component of the plan. The existing QD zoning district is inconsistent with the adopted land use plan.

4. Health, Safety and Welfare:

Other than the issues raised in the “Adverse Impacts” section above, staff has found no likely significant affects on the health, and welfare of the surrounding community.

5. Public Policy:

The request does not appear to conflict with any public policy objective. The request is consistent with the North Sector Plan.

6. Size of Tract:

The subject property that is proposed to be rezoned to MF-18 measures 8.552 acres. Should the requested rezoning be approved, the subject property could accommodate a multi-family development with up to approximately 153 dwelling units.

7. Other Factors:

SAWS identifies the subject property as a Category 2 property. SAWS staff recommends approval of the zoning request, provided that the impervious cover shall not exceed 65% on the commercially zoned areas and the impervious cover shall not exceed 50% on the multi-family zoned area.

The subject property is located within the Camp Bullis Awareness Zone/ Military Influence Area. In accordance with the signed Memorandum of Understanding between Fort Sam Houston and the City of San Antonio, zoning staff provided the Military with a copy of the rezoning request for review and comment. The Military's concerns on this proposed development's compatibility with the Camp Bullis installation would be addressed "as long as the appropriate endangered species surveys are completed and sent to the United States Fish and Wildlife Service."

RECEIVED

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**SAN ANTONIO WATER SYSTEM
Interdepartmental Correspondence Sheet**

LAND DEVELOPMENT
SERVICES DIVISION

To: Zoning Commission Members

From: Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

Copies To: Scott R. Halty, Director, Resource Protection & Compliance Department, Patricia M. Garza, Environmental Protection Specialist III, Aquifer Protection & Evaluation Section, File

Subject: Zoning Case Z2011142 (Commercial Development & Multi-family 30.132 Acres)

Date: July 12, 2011

SUMMARY

A request for a change in zoning has been made for an approximate 30.132-acre tract located on the city's north side. A change in zoning from **QD-S ERZD** to **C-2 ERZD & MF-18 ERZD** is being requested by the applicant, Brown & Ortiz, P.C., by Mr. James B. Griffin. The change in zoning has been requested to allow commercial use development along with multi-family development.

As of the date of this report, an official request for a site specific category determination or an official request for a "substantial alteration" determination has not been received by the Aquifer Protection & Evaluation Division. Based on the information provided, this property is a Category 2 property and shall be developed in accordance with all the provisions stated in Ordinance No. 81491 governing development on the Edwards Aquifer Recharge Zone. However, if the appropriate information is provided to the Aquifer Protection & Evaluation Section, this property may be determined to be a Category 1 property. If the property is determined to be a Category 1 property, staff recommends that the owner/operator use criteria outlined in Section 34-970 "Best Management Practices".

Based on the site evaluation of the property, and the information submitted by the applicant, SAWS staff recommends **approval** of the proposed land use. Should the city council rezone the property that is the subject of this report, the San Antonio Water System recommends that any development on that property after the zoning classification has been changed should be restricted as stated in the environmental recommendations section of this report.

LOCATION

The subject property is located in City Council District 8, north of Loop 1604 West and near the intersection of N.W. Military HWY (F.M. 1535). The entire tract lies within the Edwards Aquifer Recharge Zone. (Figures 1 and 2).

SITE EVALUATION

1. Development Description:

The proposed change is from QD-S ERZD to C-2 ERZD & MF-18 ERZD and will allow for the construction of commercial and multi-family development. Currently the site is covered in native vegetation and is undeveloped.

2. Surrounding Land Uses:

NW Military Hwy bounds the east side of the property. On the west and north sides of the property there is an active quarry. Portions of the property are bounded by undeveloped land. Loop 1604 W bounds the most southern portion of the property.

3. Water Pollution Abatement Plan:

As of the date of this report, a WPAP has not been submitted to the Texas Commission on Environmental Quality (TCEQ). A WPAP will be required to be submitted to and approved by the TCEQ prior to commencement of construction.

4. Geologic Conditions:

The Resource Protection Division of the San Antonio Water System conducted a site evaluation on June 10, 2011, and on July 12, 2011, of the referenced property to assess the geologic conditions and evaluate any environmental concerns present at the site. SAWS Environmental Geologist, Mr. Bruce Keels, P.G., was present during the site evaluations.

- A. The subject site was observed as undeveloped property, 30.132 acres in area, and as a subparcel to an existing rock quarrying operation. The subject property was observed to be vacant and heavily vegetated throughout. Moderate exposure of bedrock was observed throughout the subject site. Soil cover within the site appeared to be few to several inches thick, with most observed rock exposure consisting of detached float rock, with varying amounts of fractured and unfractured bedrock. A network of ephemeral streams were noted within the northernmost part of the site. Moderate amounts of dumped fill material were observed within the southern portion of the site. A water well, a collapsed livestock structure, and an apparent cattle watering structure were observed along the northern extent of the property. An FAA aircraft guidance transponder, with potential backup generator and gasoline tank, were observed immediately adjacent to the northern subject site boundary. No significant geologic features were observed within the property extents. The site appeared to slope gently to the south and west. Stormwater occurring on the subject site would drain to the west into the adjacent quarry working pit.

- B. Using U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by the Dolomitic Member of the Kainer Formation of the Edwards Aquifer. The Dolomitic Member of the Kainer Formation is characterized by the presence of massively bedded mudstone, grainstone, and recrystallized limestone with abundant chert nodules. The full section thickness of this member is approximately 110 to 130 feet thick. No significant or sensitive geologic features, other than the above noted water well, were observed within the subject site. Two mapped faults were noted to transect the site in a northeast to southwest direction; however no surface expression of these faults were noted.

- C. A Geologic Assessment has not been completed for the subject site at the time of the site visit.

ENVIRONMENTAL CONCERNS

The environmental concerns associated with this development being constructed on the Edwards Aquifer Recharge Zone are:

Site Specific Concerns

1. An abandoned well was observed on the site and should be properly plugged.

General Concerns

1. The improper use of pesticides, herbicides, or fertilizers needed for landscape maintenance that may be carried off in the first flush of stormwater run-off.
2. The build-up of hydrocarbons and other pollutants on streets, parking lots and other paved areas that are then carried off in the first flush of stormwater run-off.

ENVIRONMENTAL RECOMMENDATIONS

The following recommendations address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:

Site Specific Recommendations

1. The applicant agrees not to exceed 65% impervious cover in the commercially zoned areas. The applicant also agrees not to exceed 50% impervious cover in the Multi-family zoned area.
2. Land uses that require an industrial designation, per the permitted use table shall not be allowed on the project site.

3. The abandoned well, along with any additional wells that may be located on the site must be properly plugged according to the City Code Chapter 34, Division 2 Section 574 by a registered well driller.
4. The land uses within the zoned areas shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at that site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as prohibited, that land use will not be permitted on that site.
5. The owner of all water pollution abatement structures shall be responsible for properly maintaining the basin and that it is kept free of trash and debris. A signed water quality maintenance plan must be submitted to the Resource Protection Division of SAWS. If at any time the ownership of the property changes, the seller must disclose to the buyer all the requirements of the water quality maintenance plan. The new owner must submit a signed water quality maintenance plan to the Resource Protection Division of SAWS.
6. Landscaped areas shall be sensitive to minimizing water needs, i.e., use of native plants. Each purchaser of an individual lot or tenant within this development shall be informed by the seller or lessor in writing about Best Management Practices (BMP) for pesticide and fertilizer application. Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210-222-2204), or equivalent information produced by the U.S. Natural Resource Conservation Service, Texas Department of Agriculture, U.S.D.A, shall be used.
7. The applicant shall notify the Construction Compliance Section of the Resource Compliance Division of SAWS at (210) 233-3564 no later than 48 hours prior to the commencement of construction at the site. If any significant geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the San Antonio Water System at (210) 233-3520.
8. If any sensitive geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality at (210) 490-3096 and the Resource Protection Division of the San Antonio Water System at (210) 233-3520.

General Recommendations

1. Prior to the release of any building permits the owner/operator of any Category 2 property shall submit an Aquifer Protection Plan to the Resource Protection Division of the San Antonio Water System.
2. Prior to the release of any building permits, the following shall be submitted to the SAWS Aquifer Protection & Evaluation Section of the Resource Protection Division:

- A. A copy of the Water Pollution Abatement Plan (WPAP) shall be submitted for each particular development/use within the area being considered for re-zoning,
 - B. A set of site specific plans which must have a signed Engineers Seal from Texas,
 - C. A WPAP approval letter from the Texas Commission on Environmental Quality (TCEQ),
 - D. A copy of the approved Water Pollution Abatement Plan.
3. The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal law.
 4. If a water quality basin is constructed on the property, the following is required:
 - A. Prior to the start of the basin construction, the owner will notify the Aquifer Protection and Evaluation Section of the San Antonio Water System at (210) 233-3520 to schedule a site inspection.
 - B. After basin construction is complete and prior to the start of business, the owner will notify the SAWS Aquifer Protection and Evaluation Section at (210) 233-3520 to schedule a site inspection. Additionally, we recommend a maintenance plan and schedule be developed and submitted to SAWS Aquifer Protection and Evaluation Section.
 - C. If the basin fails to drain properly, the owner will notify the Construction Section of the Resource Compliance Division at (210) 233-3564 prior to any discharge of water.
 - D. If at any time the ownership of the property changes, the seller must inform the buyer of all requirements for maintenance of the Basin. A signed basin maintenance plan and schedule agreement, from the new owner, must be submitted to the Resource Protection Division.
 5. The City of San Antonio shall inspect all future construction of the sewage collection system to include service laterals and sewer mains for proper construction according to State and City Regulations and Code.
 6. The Resource Protection Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

Based on the site evaluation of the property, and the information submitted by the applicant, staff recommends **approval** of the proposed land use. Additionally, SAWS staff recommends that the applicant, or any future owner, comply with the above recommendations in regards to the development of the subject property.



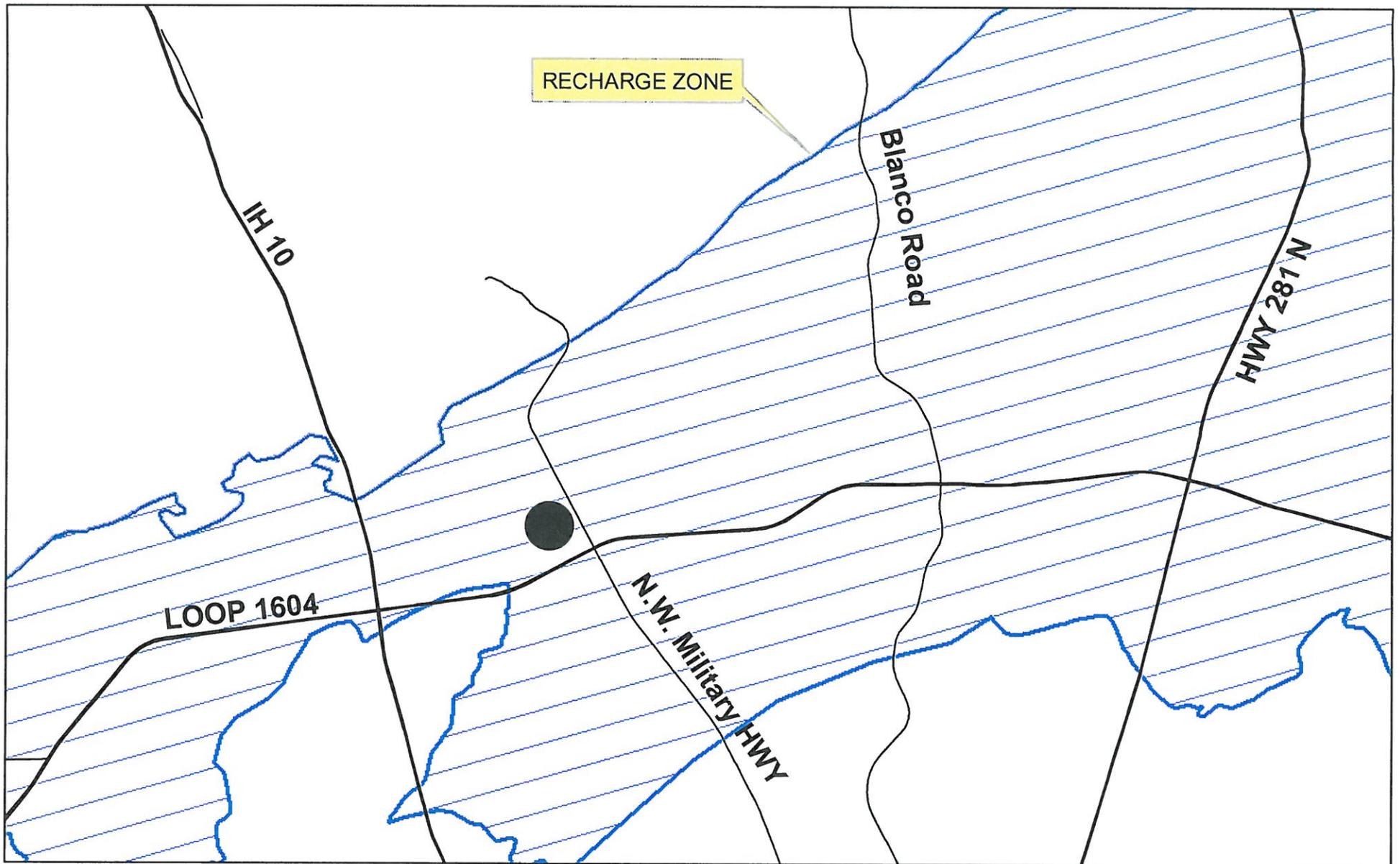
Kirk M. Nixon
Manager
Resource Protection Division

APPROVED:



Scott R. Halty
Director,
Resource Protection & Compliance Department

KMN:PMG



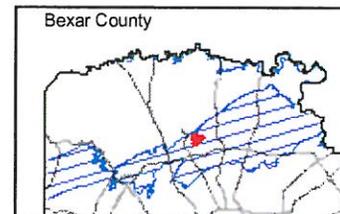
Zoning Case File Number: Z2011142

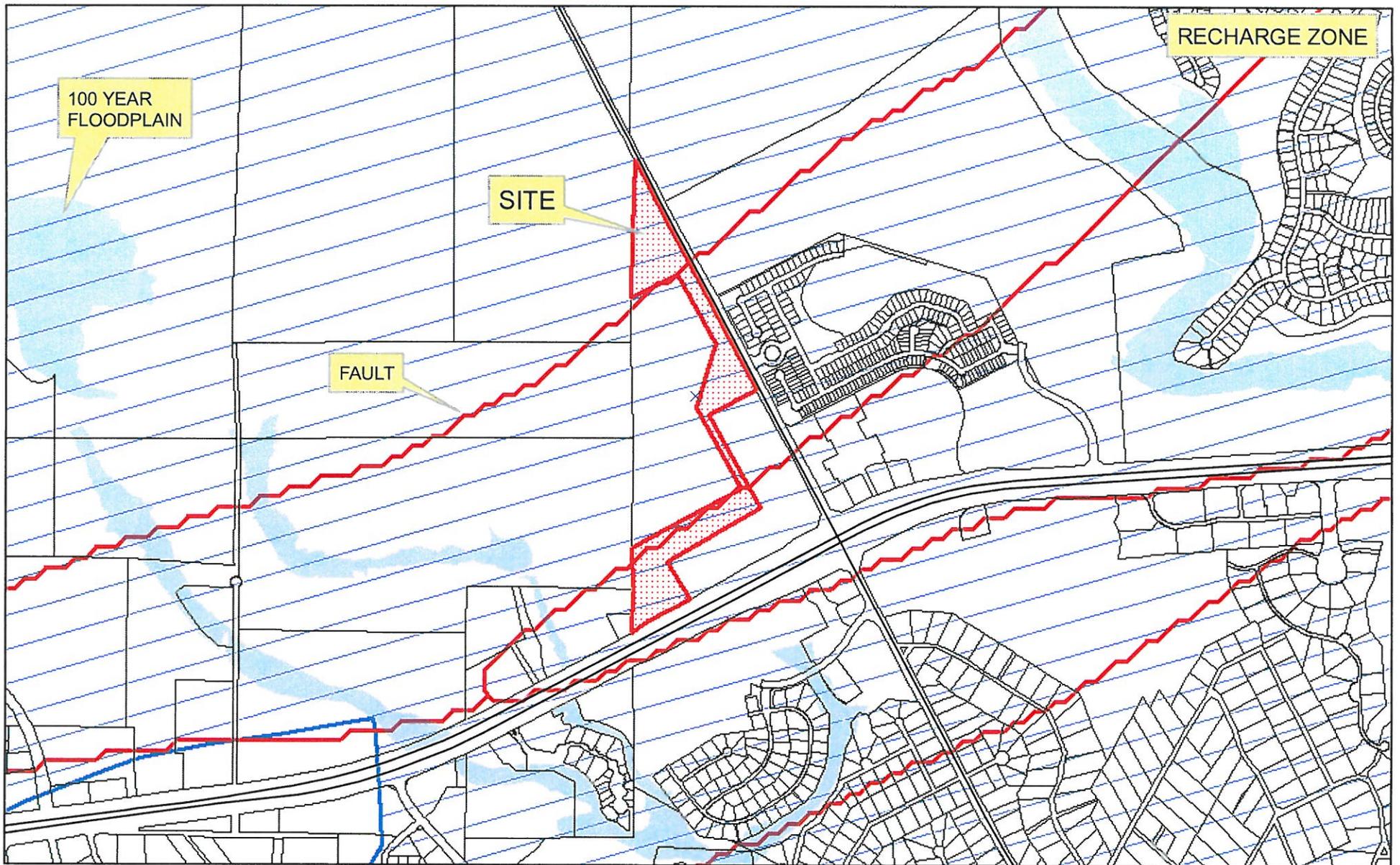
Roger's Ranch Multi-Family 30.132 Acres

Map Book Page & Grid: 515 A2, A3, A4, B3 & B4

Map Prepared by Aquifer Protection & Evaluation PMG 07/8/2011

FIGURE 1





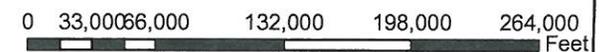
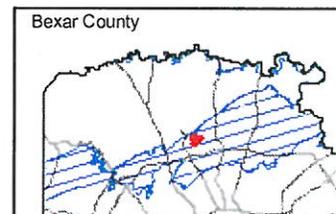
Zoning Case File Number: Z2011142

FIGURE 2

Roger's Ranch Multi-Family 30.132 Acres

Map Book Page & Grid: 515 A2, A3, A4, B3 & B4

Map Prepared by Aquifer Protection & Evaluation PMG 07/8/2011





Zoning Case Notification Plan

Case Z-2011-148 ERZD

Council District 9

Scale: 1" approx. = 400 ft.

Subject Property Legal Description(s): 23.849 acres out of NCB 19218

Legend

- Subject Properties (23.849 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(06/23/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011148 ERZD

Hearing Date: September 20, 2011

Property Owner: Crosswinds I Partnership, Ltd.

Applicant: Kaufman & Killen, Inc. (Ashley Farrimond)

Representative: Kaufman & Killen, Inc. (Ashley Farrimond)

Location: Located northwest of the intersection of U. S. Highway 281 North and Stone Oak Parkway.

Legal Description: 23.849 acres out of NCB 19218

Total Acreage: 23.849

City Council District: 9

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "C-3 MLOD ERZD" General Commercial Military Lighting Overlay Airport Hazard Overlay District

Requested Zoning: "MF-25 MLOD ERZD" Low Density Multi-Family Military Lighting Overlay Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 4

Neighborhood Associations: Stone Oak Property Owners Association

Planning Team Members: 41 (North Sector Plan)

Applicable Agencies: The San Antonio Water System and The Camp Bullis Military Training Site

Property Details

Property History: The subject property is currently undeveloped. The property was annexed in 1997 and was originally zoned "B-3" Business District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to "C-3" General Commercial District. The applicant is requesting a zoning change in order to allow the construction of apartments.

Topography: The property is relatively flat with a slight slope, and an abundance of grasses, shrubs and trees.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: OCL

Current Land Uses: Vacant land and Single-family residences

Direction: South

Current Base Zoning: C-3

Current Land Uses: Vacant land

Direction: East

Current Base Zoning: OCL and C-3

Current Land Uses: Vacant land and a Veterinary Clinic

Direction: West

Current Base Zoning: C-3

Current Land Uses: Offices

Overlay and Special District Information: All surrounding properties carry the "ERZD" Edwards Recharge Zone District. The "ERZD" does restrict permitted uses, due to the environmentally sensitive nature of the recharge zone. Per Chapter 34 of the City of San Antonio Code of Ordinances, the San Antonio Water System (SAWS) and City of San Antonio departments share regulatory jurisdiction over development within the "ERZD".

All surrounding properties carry the "MLOD" Military Lighting Overlay District, due to their proximity to Camp Bullis. The "MLOD" regulates outdoor lighting in an effort to minimize night-time light pollution and its effects on operations at the military installation.

Transportation

Thoroughfare: Highway 281 North

Existing Character: Freeway; 2 lanes in each direction

Proposed Changes: None known.

Thoroughfare: Stone Oak Parkway

Existing Character: Secondary Arterial Type A; 2 lanes in each direction

Proposed Changes: None known.

Public Transit: There is no mass transit service currently available to the subject property.

Traffic Impact: A Traffic Impact Analysis is required.

Parking Information: Minimum Parking Requirement: 1.5 per unit.

Maximum Parking Requirement: 2 per unit.

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The property is located within the North Sector Plan and is currently designated as “Regional Center” in the Future Land Use Section. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

The proposed multi-family zoning is appropriate for the area. Multi-family zoning is most appropriate at the periphery of single-family neighborhoods, and along arterials or major thoroughfares where supporting infrastructure, such as public transportation and commercial facilities are present.

3. Suitability as Presently Zoned:

The subject property’s current zoning is appropriate. The uses permitted in the “C-3” district are typically considered “regional commercial” uses, and are most appropriately located at the intersections of arterial thoroughfares and expressways, on large-acreage lots in an effort to minimize the impact of increased traffic, noise, and lighting on surrounding properties by ensuring sufficient area to accommodate building setbacks and landscape buffer requirements.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

The request does not appear to conflict with any public policy objective. The request is consistent with the North Sector Plan.

6. Size of Tract:

The subject property measures 23.849 acres. Should the requested rezoning be approved, the subject property could accommodate a multi-family development with up to approximately 596 dwelling units. The applicant is proposing a total of 400 dwelling units for the entire site.

7. Other Factors:

SAWS identifies the subject property as a Category 1 property. SAWS staff recommends approval of the zoning request, provided that the impervious cover shall not exceed 50% on the site.

The subject property abuts commercially zoned property (owned by the same property owner that is requesting the zoning change) that has frontage along Highway 281 North. Vehicular access to the site is proposed from Highway 281 North, a freeway. Highway 281 North is designed to carry a significant amount of vehicular traffic, including VIA buses.

The subject property is located within the Camp Bullis Awareness Zone/ Military Influence Area. In accordance with the signed Memorandum of Understanding between Fort Sam Houston and the City of San Antonio, zoning staff provided the Military with a copy of the rezoning request for review and comment. The Military’s concerns on this proposed development’s compatibility with the Camp Bullis installation would be addressed “as long as the appropriate endangered species surveys are completed and sent to the United States Fish and Wildlife Service.”

SAN ANTONIO WATER SYSTEM
Interdepartment Correspondence Sheet

DEVELOPMENT SERVICES
RECEIVED

2011 AUG -1 AM 9:02

To: Zoning Commission Members

From: Kirk M. Nixon, Manager, Resource Protection Division, San Antonio Water System

Copies To: Scott R. Halty, Director, Resource Protection & Compliance Department, Gregory James, P.G., Michael A. Escalante, Environmental Protection Specialist III, Aquifer Protection & Evaluation Section, File

Subject: Zoning Case Z2011148 (Tacara)

Date: August 2, 2011

SUMMARY

A request for a change in zoning has been made for an approximate 23.849-acre tract located on the city's north east side. A change in zoning from “**C-3 MLOD ERZD**” to “**M-25 MLOD ERZD**” is being requested by the applicant Kaufman & Killen, Inc., by Ashley Farrimond. The change in zoning has been requested to allow for multi-family development. The property is classified as a Category 1.

Based on the site evaluation of the property, and the information submitted by the applicant, SAWS staff recommends **approval** of the proposed land use. Should the city council rezone the property that is the subject of this report, the San Antonio Water System recommends that any development on that property after the zoning classification has been changed should be restricted as stated in the environmental recommendations section of this report.

LOCATION

The subject property is located in City Council District 9, northwest of the intersection of U.S. Highway 281 North and Stone Oak Parkway. The property lies within the Edwards Aquifer Recharge Zone (Figures 1 and 2).

SITE EVALUATION

1. Development Description:

The proposed change is from “**C-3 MLOD ERZD**” to “**MF-25 MLOD ERZD**” and will allow for multi-family development. Currently, the 23.849-acre site is under construction.

2. Surrounding Land Uses:

Northwind Estates Subdivision lies to the west and northwest of the subject tract. A vacant lot and the Bulverde Bexar Veterinary Clinic bound the northeast portion of the subject site. Chase Bank corporate offices border the south. Currently undeveloped land lies adjacent to the east and southeast portion of the subject site.

3. Water Pollution Abatement Plan:

The subject property (23.849 acres) is contained within the overall 59.73 acres of the Tacara WPAP. It was originally approved by the TCEQ on November 24, 2008, showing the subject property proposed to be developed as a commercial use. The WPAP also received a TCEQ modification approval on March 1, 2011, with no changes proposed as originally approved.

4. Geologic Conditions:

The Resource Protection Division of the San Antonio Water System conducted a site evaluation on June 20, 2011, of the referenced property to assess the geologic conditions and evaluate any environmental concerns present at the site. SAWS Environmental Geologist, Joan B. Falkenberg, P.G., was present during the site evaluation.

- A. The subject site was observed as undeveloped and in a natural state. Portions of the site were covered by bedrock and bedrock float. The subject site was observed to have a moderate soil cover, thick vegetation, trees and tall grassy areas with leaf litter covering many parts of the site. According to the geologic assessment, two geologic features were identified on site. A solution cavity which was rated as sensitive and will be buffered according to the Water Pollution Abatement Plan approved by the Texas Commission on Environmental Quality and a small non-sensitive solution cavity. During the site visit several non-sensitive geologic features consisting of small solution cavities, closed depressions and vuggy rock outcrops were also observed.

The topography of the site slopes from the north to the south. Stormwater occurring on the subject site would drain southeasterly by way of several on site drainage patterns toward an unnamed tributary to West Elm Creek.

- B. Using U.S. Geological Survey Water-Resources Investigations Report 95-4030 it was determined that the subject site is underlain by two geologic members of the Edwards Aquifer. The majority of the site is underlain by the Dolomitic member of the Person Formation and characterized by massive bedded grey limestone. A full section thickness of this member is approximately 110 to 130 feet thick. A small portion of the tract is underlain by the Kirschberg Evaporite member and is characterized by a crystalline limestone with an overall thickness in full section of 50 to 60 feet.

- C. The site does not lie within a floodplain preservation area.

ENVIRONMENTAL CONCERNS

The environmental concerns associated with this development being constructed on the Edwards Aquifer Recharge Zone are:

Site Specific Concerns

1. A solution cavity rated as a sensitive geologic feature, is located on the property and there is potential for contamination of the Edwards Aquifer.

General Concerns

1. The improper use of pesticides, herbicides, or fertilizers needed for landscape maintenance that may be carried off in the first flush of stormwater run-off.
2. The build-up of hydrocarbons and other pollutants on streets, parking lots and other paved areas that are then carried off in the first flush of stormwater run-off.

ENVIRONMENTAL RECOMMENDATIONS

The following recommendations address the environmental concerns raised by the construction of this development on the Edwards Aquifer Recharge Zone:

Site Specific Recommendations

1. The impervious cover shall not exceed 50% on the overall site.
2. A natural buffer shall be provided for the solution cavity located on site as follows: a 200 ft. buffer will be provided on the up gradient portion of the solution cavity and a 60 ft. buffer on the down gradient portion of the feature.
3. The land uses within the zoned area shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at that site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as prohibited, that land use will not be permitted on that site.
4. Wells that are no longer in use or abandoned shall be properly plugged in accordance with SAWS water well plugging procedures. The Ground Water Resource Protection Section should be notified at 233-3546 upon discovery and plugging of such wells.

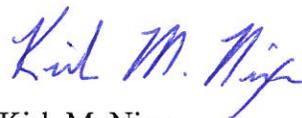
5. The owner of all water pollution abatement structures shall ensure these structures are properly maintained and kept free of trash and debris. A signed water quality maintenance plan must be submitted to the Resource Protection Division of SAWS. If at any time the ownership of the property changes, the seller must disclose to the buyer all the requirements of the water quality maintenance plan. The new owner must submit a signed water quality maintenance plan to the Resource Protection Division of SAWS.
6. Landscaped areas shall be sensitive to minimizing water needs, i.e., use of native plants. Each purchaser of an individual lot or tenant within this development shall be informed by the seller or lessor in writing about Best Management Practices (BMP) for pesticide and fertilizer application. Preventing Groundwater Pollution, A Practical Guide to Pest Control, available from the Edwards Aquifer Authority (210/222-2204), or equivalent information produced by the U.S. Natural Resource Conservation Service, Texas Department of Agriculture, U.S. Department of Agriculture, shall be used.
7. The applicant shall notify the Construction Compliance Section of the Resource Compliance Division of SAWS at (210) 233-3564 no later than 48 hours prior to the commencement of construction at the site. If any significant geologic features such as, but not limited to, solution openings, caves, sinkholes, or wells are found during the excavation, construction, or blasting, the developer shall notify the Texas Commission on Environmental Quality and the Resource Protection Division of the San Antonio Water System at (210) 233-3526.

General Recommendations

1. Prior to the release of any building permits the owner/operator of any Category 2 property shall submit an Aquifer Protection Plan to the Resource Protection Division of the San Antonio Water System.
2. The land uses within the project site shall be in conformance with the table of permitted uses at the time the re-zoning is approved. Should a proposed use be listed as requiring City Council approval, the owner/operator shall apply for re-zoning for that particular use at the project site. If the land use is listed as special use, a special permit must be obtained for that use. If the land use is listed as not allowed, that land use will not be permitted on the project site.
3. Prior to the release of any building permits, the following shall be submitted to the SAWS Aquifer Protection & Evaluation Section of the Resource Protection Division:
 - A. A copy of the Water Pollution Abatement Plan (WPAP) shall be submitted for each particular development/use within the area being considered for re-zoning,

- B. A set of site specific plans which must have a signed Engineers Seal from the State of Texas,
 - C. A WPAP approval letter from the Texas Commission on Environmental Quality (TCEQ),
 - D. A copy of the approved Water Pollution Abatement Plan.
4. The storage, handling, use and disposal of all over the counter hazardous materials within this development shall be consistent with the labeling of those materials. Failure to comply with the label warnings may constitute a violation of Federal law.
5. If a water quality basin is constructed on the property, the following is required:
- A. Below grade or subsurface basins shall not be allowed to be constructed on the site.
 - B. Prior to the start of the basin construction, the owner will notify the Aquifer Protection and Evaluation Section of the San Antonio Water System at (210) 233-3526 to schedule a site inspection.
 - C. After basin construction is complete and prior to the start of business, the owner will notify the SAWS Aquifer Protection and Evaluation Section at (210) 233-3526 to schedule a site inspection. Additionally, we recommend a maintenance plan and schedule be developed and submitted to SAWS Aquifer Protection and Evaluation Section.
 - D. If the basin fails to drain properly, the owner will notify the Construction Section of the Resource Compliance Division at (210) 233-3564 prior to any discharge of water.
 - E. If at any time the ownership of the property changes, the seller must inform the buyer of all requirements for maintenance of the Basin. A signed basin maintenance plan and schedule agreement, from the new owner, must be submitted to the Resource Protection Division of SAWS.
6. The City of San Antonio shall inspect all future construction of the sewage collection system to include service laterals and sewer mains for proper construction according to State and City Regulations and Code.
7. The Resource Protection Division staff shall have the authority to inspect the site to ensure that the approved recommendations are being strictly adhered to during and after construction of the project.

Based on the site evaluation of the property, and the information submitted by the applicant, staff recommends **approval** of the proposed land use. Additionally, SAWS staff recommends that the applicant, or any future owner, comply with the above recommendations in regards to the development of the subject property.



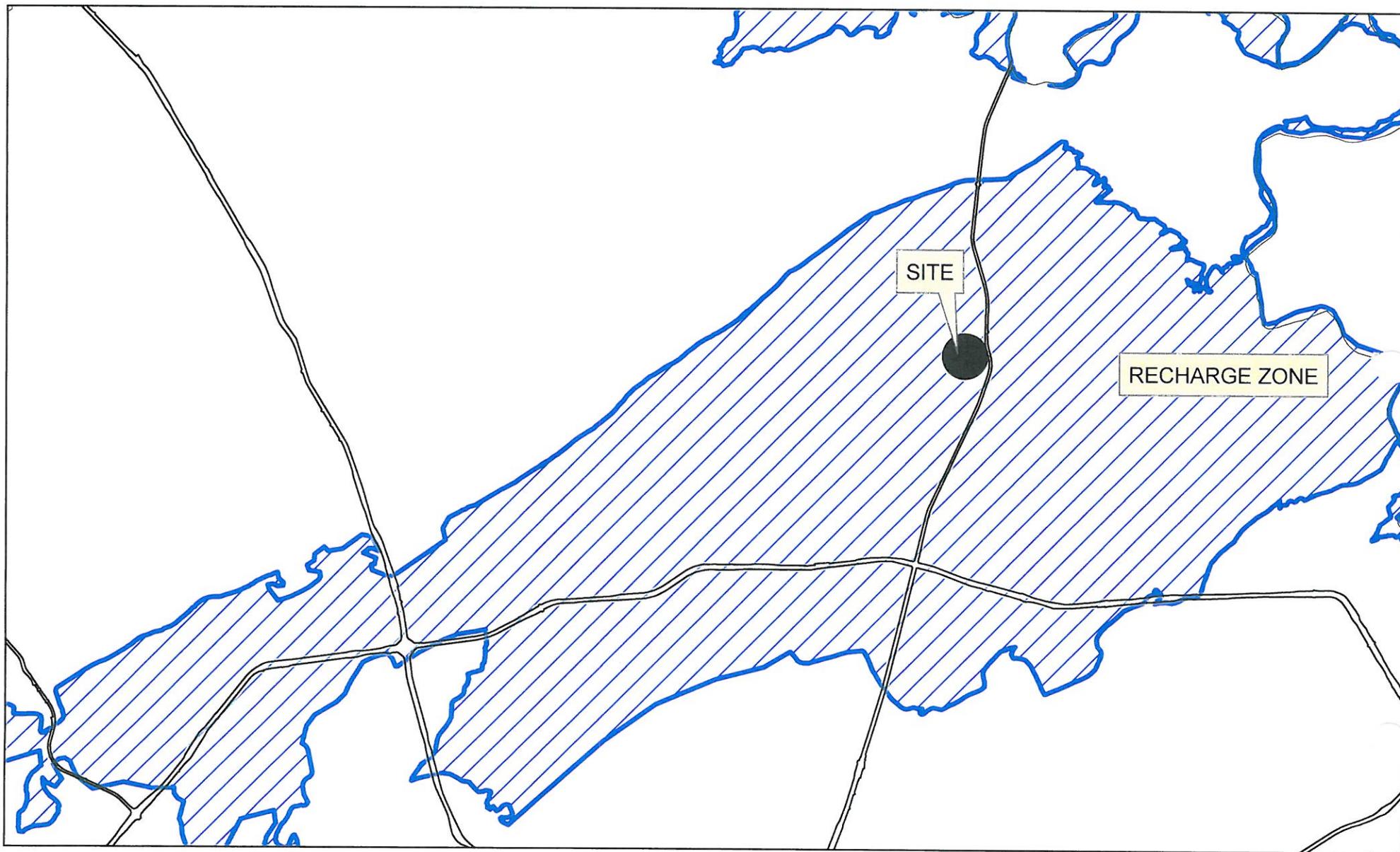
Kirk M. Nixon
Manager
Resource Protection Division

APPROVED:



Scott R. Halty
Director,
Resource Protection & Compliance Department

KMN:MAE

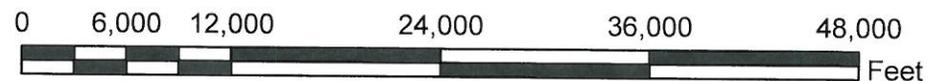


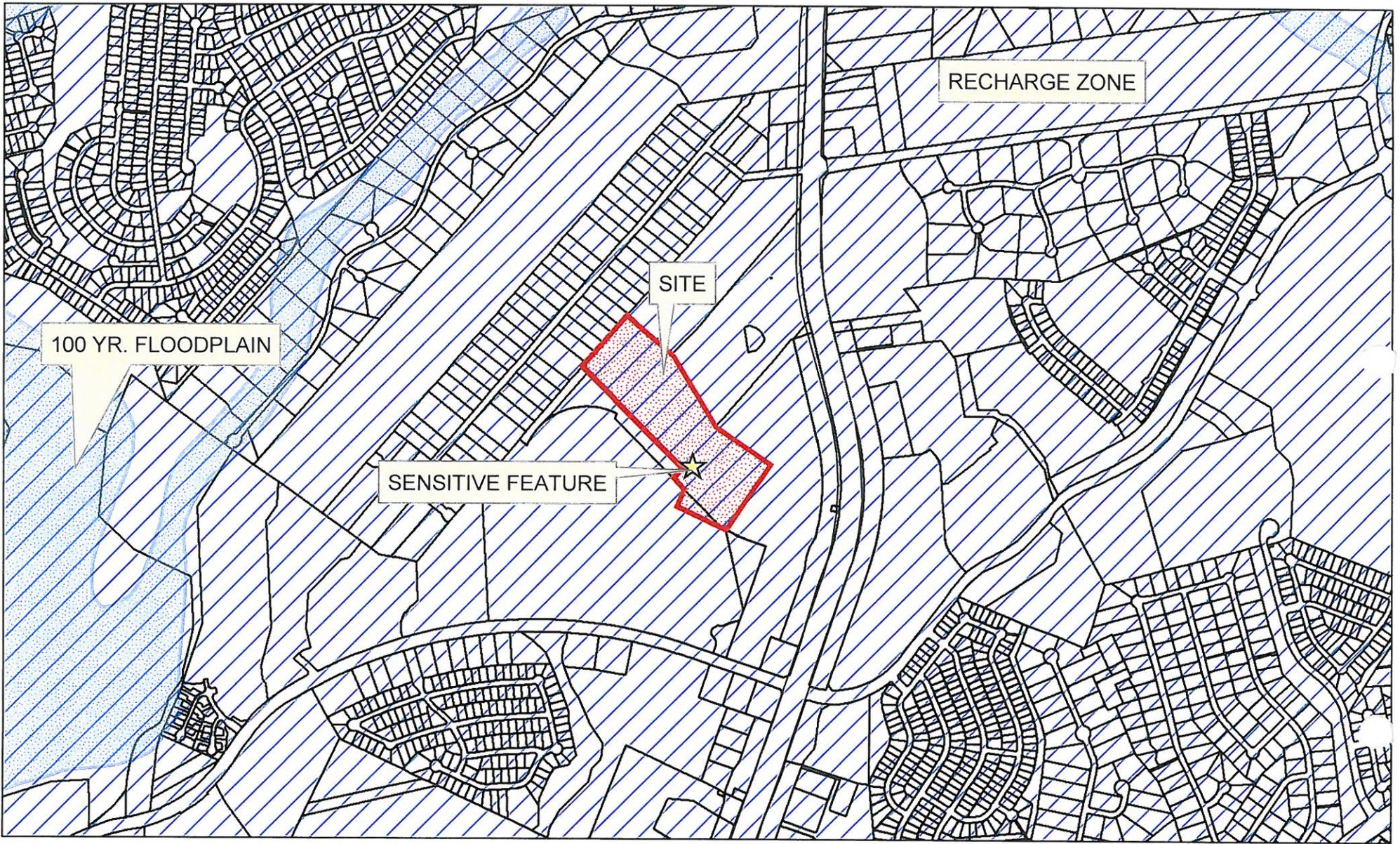
ZONING FILE: TACARA (FIGURE 1)

ZONING ID: Z2011148

MAP PAGE: 483, D4

Map Prepared by Aquifer Protection & Evaluation MAE 6/9/2011



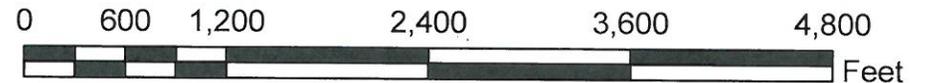


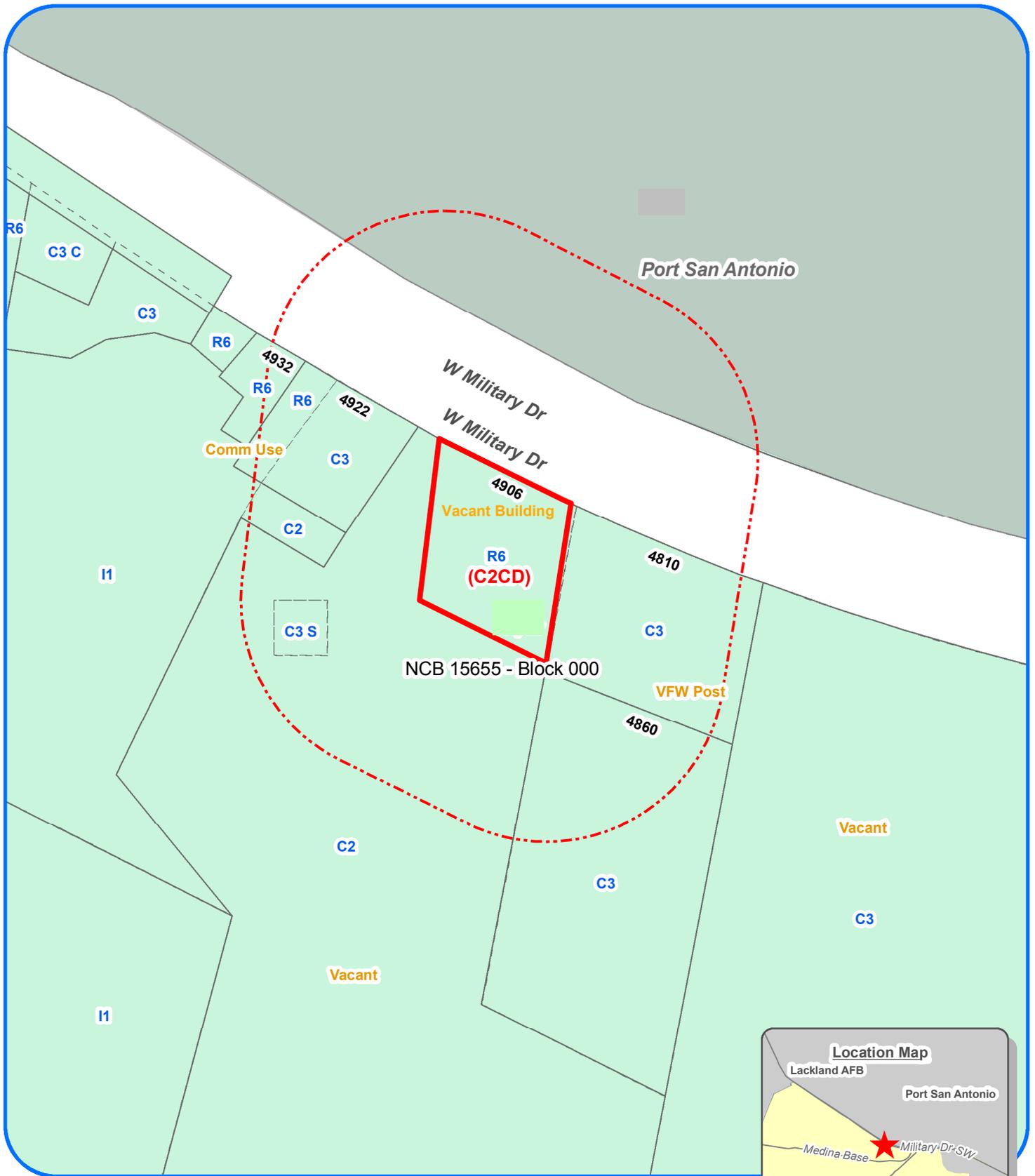
ZONING FILE: TACARA (FIGURE 2)

ZONING ID: Z2011148

MAP PAGE: 483, D4

Map Prepared by Aquifer Protection & Evaluation MAE 6/22/2011





Zoning Case Notification Plan

Case Z-2010-105 CD

Council District 4

Scale: 1" approx. = 150 Feet

Subject Property Legal Description(s): NCB 15655 - Block 0 - Parcel P-15H, Abstract 16

Legend

- Subject Property (Solid Red Line) (0.524 Acres)
- 200' Notification Area (Dashed Red Line)
- Current Zoning (Blue Text)
- Requested Zoning Change (Red Text)
- 100-Year DFIRM Floodplain (Orange Shaded Area)
- Single Family Residential (1R)



Planning & Development Services Dept
City of San Antonio
(05/24/2010 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2010105 CD
Hearing Date: September 20, 2011
Property Owner: Juan Avila
Applicant: Juan Avila
Representative: William Ellington
Location: 4906 West Military Drive
Legal Description: P-15H, Abstract 16, NCB 15655
Total Acreage: 0.524
City Council District: 4
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District.

Requested Zoning: "C-2 CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair.

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 1, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 9

Neighborhood Associations: People Active in Community Effort (PACE)

Planning Team Members: 29 (United Southwest Community Plan)

Applicable Agencies: None

Property Details

Property History: The subject site is currently a vacant commercial structure. According to the Bexar County Appraisal District, the structure was constructed in 1960 and measures 2,400 square feet. The subject property was annexed in December of 1972 and was originally zoned Temporary "R-1" Single-Family Residence District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the use.

Adjacent Zoning and Land Uses

Direction: Northeast

Current Base Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Current Land Uses: Commercial Use

Direction: Southwest

Current Base Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Current Land Uses: Commercial Use

Direction: Southeast

Current Base Zoning: "C-3 AHOD" General Commercial Airport Hazard Overlay District

Current Land Uses: VFW Post

Direction: Northeast across West Military Drive

Current Land Uses: Port San Antonio

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: West Military Drive

Existing Character: Primary arterial two lanes in each direction with median for left and right turn movements.

Proposed Changes: None known.

Public Transit: There are no public transit lines in the immediate vicinity.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 500 sf of GFA including service bays, wash tunnels and retail areas. Maximum Parking Requirement: 1 per 375 sf of GFA including service bays, wash tunnels and retail areas.

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the United Southwest Community Plan and is currently designated "Community Commercial" which provides for offices, professional services, and retail uses that are accessible to bicyclists and pedestrians. Community Commercial should be located at nodes on arterials at major intersections or where an existing commercial area has been established. Related zoning districts may include O-1, NC, C-1, C-2 and C-2P. Therefore, the requested zoning district is consistent with the United Southwest Community Plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the "C-2 CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair will not have an adverse impact on the area. Surrounding existing land uses are commercial in character and the proposed zoning change is consistent with these uses.

3. Suitability as Presently Zoned:

The current "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District is not appropriate for the area. The "C-2 CD AHOD" Commercial Nonalcoholic Sales Airport Hazard Overlay District with a Conditional Use for Auto and Light Truck Repair will provide an opportunity for a reuse of the existing building and will be consistent with the current uses along West Military Drive.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. There is no established residential development on this side of the West Military Drive.

5. Public Policy:

The request does not appear to conflict with any established public policy.

6. Size of Tract:

The 0.524 acre tract is of sufficient size to accommodate the proposed use. The applicant has submitted a site plan in order to comply with the Conditional Use requirements.

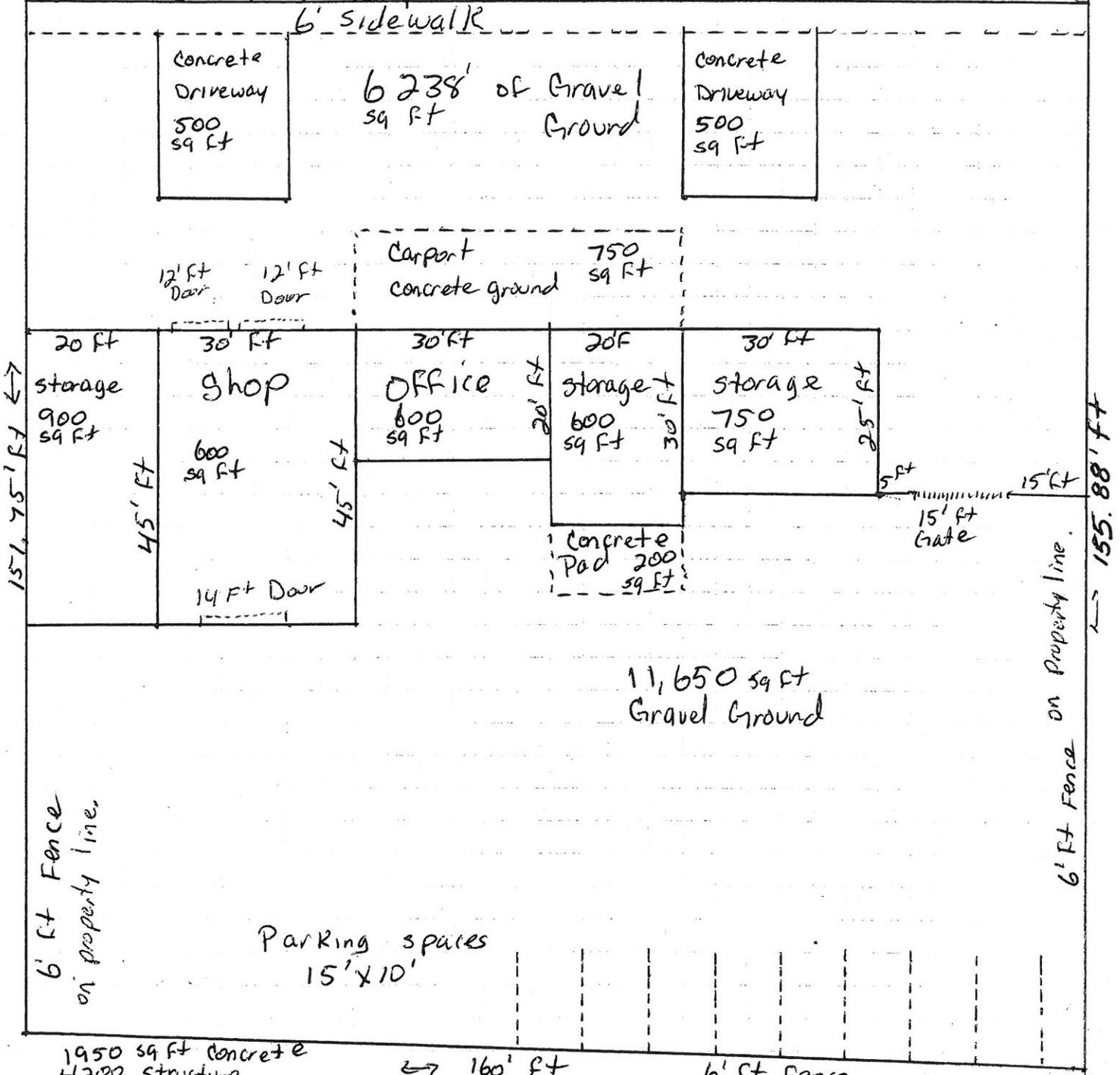
7. Other Factors:

The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions. The granting of conditional zoning shall only be for the conditional use named in the ordinance (Auto and Light Truck Repair) approving the conditional zoning district.

The United Southwest Community Plan provides guidance for economic development opportunities along West Military Drive. Goal 1 of the plan states, attract new businesses, services and retail establishments to the United Southwest Community and promote the implementation of strategies to attract commercial development.

"I Juan Avila" the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the unified Development Code. Additionally I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any/all city adopted codes at the time of Plan Submittal for Building Permits.

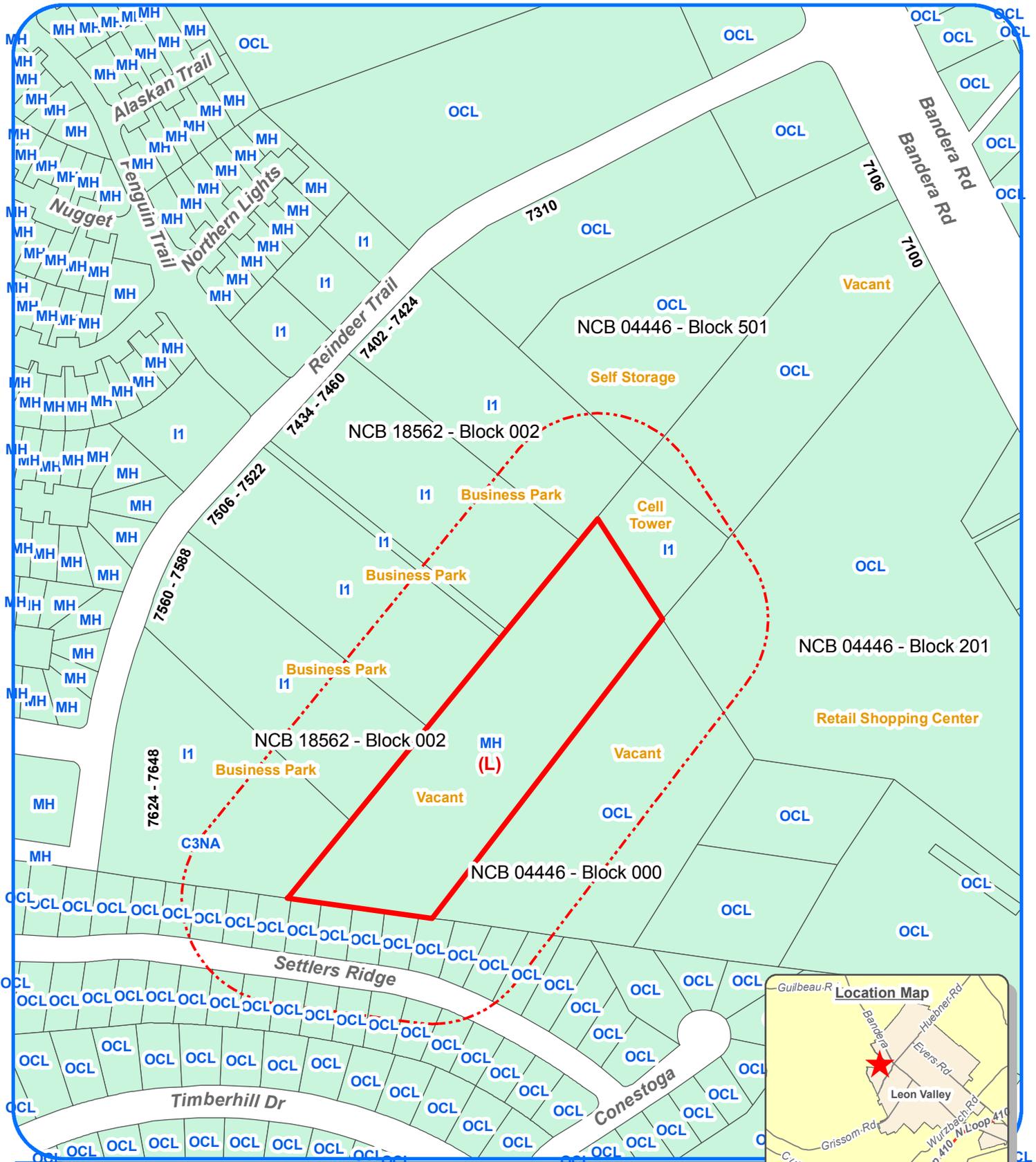
4906 W. Military 163' ft ←



1950 sq ft concrete
 4200 structure
 800 side walk
 17,888 Gravel Ground
 24,838 sq ft.

160' ft 6' ft fence
 Applying for C-2 Conditional use
 Auto repair

SITE PLAN
 ZR010105 CD



Zoning Case Notification Plan

Case Z2011169

Council District 7

Scale: 1" approx. = 250 ft.

Subject Property Legal Description(s): A Portion of NCB 18562 - Block 002 - SW 225 ft of NE 460 ft & SE Irr 270.26 ft of Lot 1

Legend

- Subject Properties ——— (4.252 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/03/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011169

Hearing Date: September 20, 2011

Property Owner: AAA Free Move Mini Storage, LLC

Applicant: Albert W. Van Cleave, III

Representative: Albert W. Van Cleave, III

Location: 7512 Bandera Road, located southwest of the intersection of Bandera Road and Reindeer Trail

Legal Description: 4.252 acres out of Lot 1, Block 2, NCB 18562

Total Acreage: 4.252 acres

City Council District: 7

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning request. The case is being expedited due to a scheduling error, and is now scheduled to be heard by the City Council on October 6, 2011.

Proposed Zoning Change

Current Zoning: "MH AHOD" Manufactured Housing Airport Hazard Overlay District

Requested Zoning: "L AHOD" Light Industrial Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 9, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 8

Neighborhood Associations: None

Planning Team Members: 22 – Northwest Community Plan

Applicable Agencies: None

Property Details

Property History: The subject property was annexed in 1987 (Ordinance 66020) and was originally zoned “Temp R-1” Temporary Single Family Residence District. In a 1987 case, the property was split-zoned “B-3NA” Nonalcoholic Sales District and “I-1” Light Industry District (Ordinances 66445 and 66719). In 1998, the property was rezoned to “R-4” Manufactured Home Residence District (Ordinance 88794). Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current “MH” Manufactured Housing District. The property is a portion of a larger platted lot (volume 7500, page 241), which was recorded in 1975. The property is currently undeveloped.

Topography: The property does not include any abnormal physical features such as significant slope or inclusion in a flood plain. The property is a landlocked parcel, but may gain access from surrounding properties under common ownership. Many of the surrounding parcels (south, east, and northeast) are located in the City of Leon Valley.

Adjacent Zoning and Land Uses

Direction: West and northeast

Current Base Zoning: “I-1” General Industrial District

Current Land Uses: Business Park and Cell Towers

Direction: North, east, and south

Current Base Zoning: Outside City Limits

Current Land Uses: Undeveloped land, shopping center, self-storage, single-family residences

Overlay and Special District Information: Surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration

Transportation

Thoroughfare: Bandera Road

Existing Character: Primary Arterial Type A; three lanes in each direction separated by medians with turnarounds

Proposed Changes: None known

Thoroughfare: Reindeer Trail

Existing Character: Collector/Local street; one lane in each direction, with no center stripe.

Proposed Changes: None known.

Public Transit: VIA bus lines 88 and 609 operate along Bandera Road and Huebner Road.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: The applicant indicates a number of uses including a moving company, self-service storage, and boat/vehicle storage. The moving company use does not carry parking requirements; self-service storage requires a minimum of 4 spaces plus 2 spaces designated for manager’s quarters (no maximum limit); boat storage requires a minimum of 1 parking space per 600 square feet of storage building area, and a maximum of 1 parking space per 350 square feet of storage building area.

Staff Analysis and Recommendation: Approval.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Northwest Community Plan area, and is designated as “Business/Office Park” in the future land use component of the plan. The requested zoning is consistent with the future land use designation.

2. Adverse Impacts on Neighboring Lands:

Staff has found no evidence of likely adverse impacts on neighboring lands. The requested zoning and proposed uses are consistent and compatible with the neighboring business park and intense commercial uses located along the Bandera Road corridor.

3. Suitability as Presently Zoned:

The subject property is not well suited for residential development due to its location, configuration, and surrounding uses. The parcel is landlocked, currently accessible only from abutting properties under common ownership, and located between an existing business park and a large retail center.

4. Health, Safety and Welfare:

The subject property is currently undeveloped, and is isolated from surrounding development. The lot is an easy target for illegal dumping due to its secluded location. Therefore, development of the property is likely to benefit the health, safety and welfare of the surrounding area.

5. Public Policy:

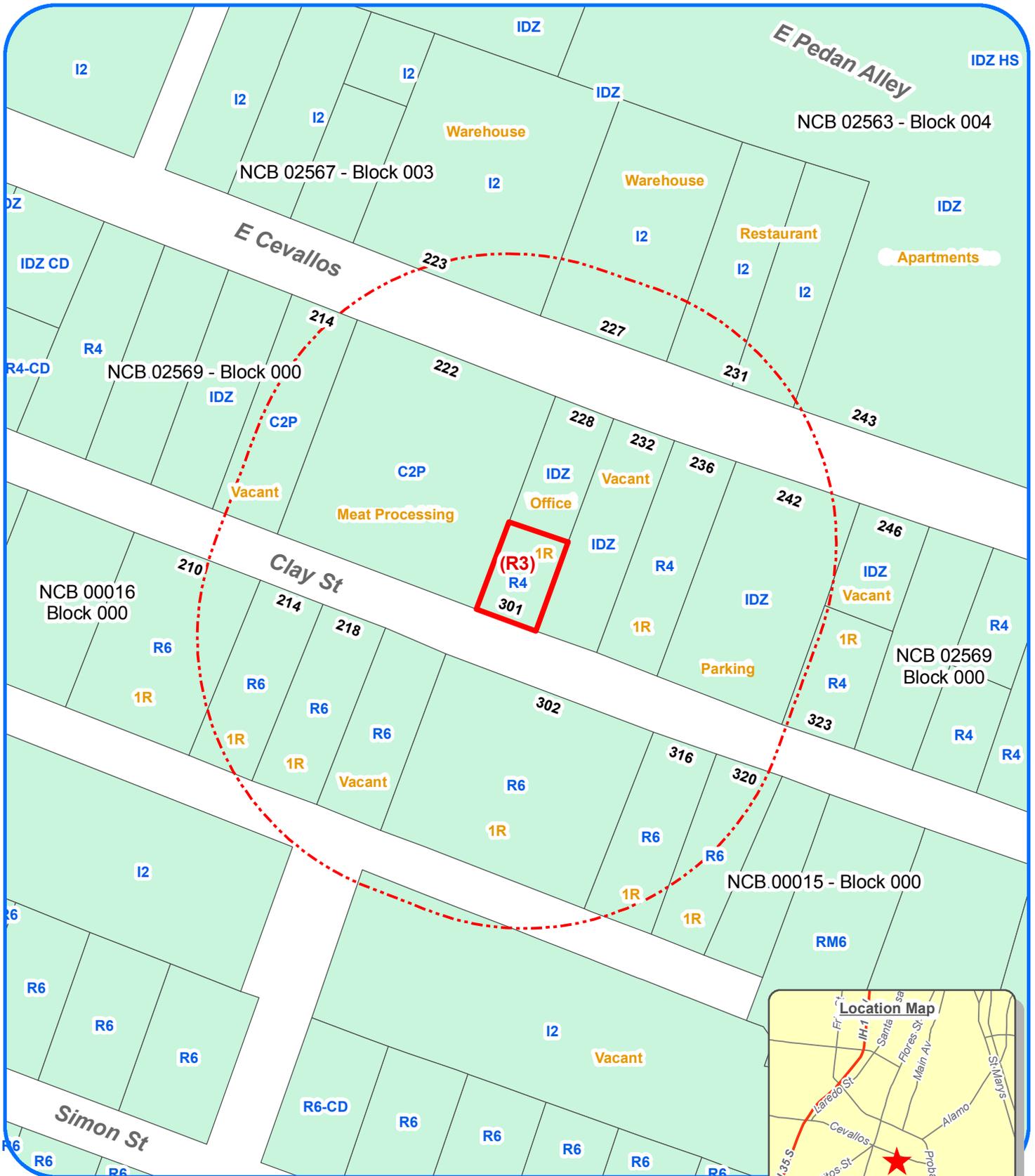
The Northwest Community Plan was recently updated in accordance with the City’s 5-year review/update policy. The subject property’s land use designation was changed through the update process. The existing zoning is not consistent with the adopted land use plan.

6. Size of Tract:

The property is of sufficient size to accommodate the proposed uses and required parking.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z2011171

Council District 5

Scale: 1" approx. = 100 ft.

Subject Property Legal Description(s): NCB 02569 - Block 000 - S 75 ft of Cir 1 pt of A8

Legend

- Subject Properties (0.0861 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change TEXT
- 100-Year DFIRM Floodplain
- Single Family Residential 1R



Development Services Dept
City of San Antonio
(08/01/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio Development Services Department Staff Report

To: Zoning Commission
Zoning Case #: Z2011171
Hearing Date: September 20, 2011
Property Owner: Lucas Rodgers
Applicant: Lucas Rodgers
Representative: Lucas Rodgers
Location: 301 Clay Street
Legal Description: The south 75 feet of CIR 1 part of A8, NCB 2569
Total Acreage: 0.0861
City Council District: 5
Case Manager: Micah Diaz, Planner
Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "R-4 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "R-3 AHOD" Residential Single-Family Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 9, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 23

Neighborhood Associations: Lone Star Neighborhood Association

Planning Team Members: 16 – South Central San Antonio Community Plan

Applicable Agencies: None

Property Details

Property History: The subject property is located within the city limits as they were recognized in 1938, and was originally zoned "L" First Manufacturing District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to "I-2" Heavy Industrial District. In a 2006 city-initiated zoning case, the property was rezoned to "R-4" Residential Single-Family District. According to the Bexar County Appraisal District, the existing structure measures approximately 670 square feet in size and was constructed in 1925. The property is not platted.

Topography: The subject property does not include significant features such as slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: "I-2" Heavy Industrial District and "IDZ" Infill Development Zone

Current Land Uses: Warehousing, restaurant, office, and apartments

Direction: East

Current Base Zoning: "IDZ" and "R-4" Residential Single-Family District

Current Land Uses: Vacant lot, single-family residences, parking lot

Direction: South

Current Base Zoning: "R-6" Residential Single-Family District and "I-2"

Current Land Uses: Single-family residences, vacant lots, undeveloped land

Direction: West

Current Base Zoning: "C-2P" Pedestrian Commercial District and "IDZ"

Current Land Uses: Meat processing and office

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: Clay Street

Existing Character: Local street; one lane in each direction with no center stripe

Proposed Changes: None known

Thoroughfare: East Cevallos

Existing Character: Local street; one lane in each direction with sidewalks

Proposed Changes: None known

Public Transit: Multiple VIA bus lines operate in the area, along Nogalitos Street, South Flores Street, Probandt Street, and South Alamo Street; however, there are no bus stops adjacent to the subject property.

Traffic Impact: A Traffic Impact Analysis is not required. Infill Development Zone (IDZ) requests are exempt from the TIA requirement.

Parking Information: Single-family residential uses are required to have at least one parking space per dwelling unit.

Staff Analysis and Recommendation: Approval, pending text amendment to the South Central San Antonio Community Plan.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the South Central San Antonio Community Plan area, and is designated as “Mixed Use” in the future land use component of the plan. The requested zoning is not consistent with the plan text. Although “R-3” is typically considered a medium density residential zoning district, and medium density uses are typically considered consistent with the Mixed Use land use designation, the plan document does not include such language. Therefore, the applicant has applied to amend the text of the future land use plan to allow medium density residential uses in the Mixed Use land use designation.

Planning staff and Planning Commission recommend approval of the text amendment.

2. Adverse Impacts on Neighboring Lands:

Staff has found no evidence of likely adverse impacts as a result of the proposed zoning change. Approval of the requested zoning district will allow the subject property to be redeveloped in a manner that conforms to City building and development codes.

3. Suitability as Presently Zoned:

The uses permitted in both the existing and requested zoning districts are the same, and are appropriate for the subject property and surrounding mixed-use area. However, the property does not meet the minimum lot size requirement for the “R-4” district.

4. Health, Safety and Welfare:

Redevelopment of under utilized lots typically improves public health, safety and welfare.

5. Public Policy:

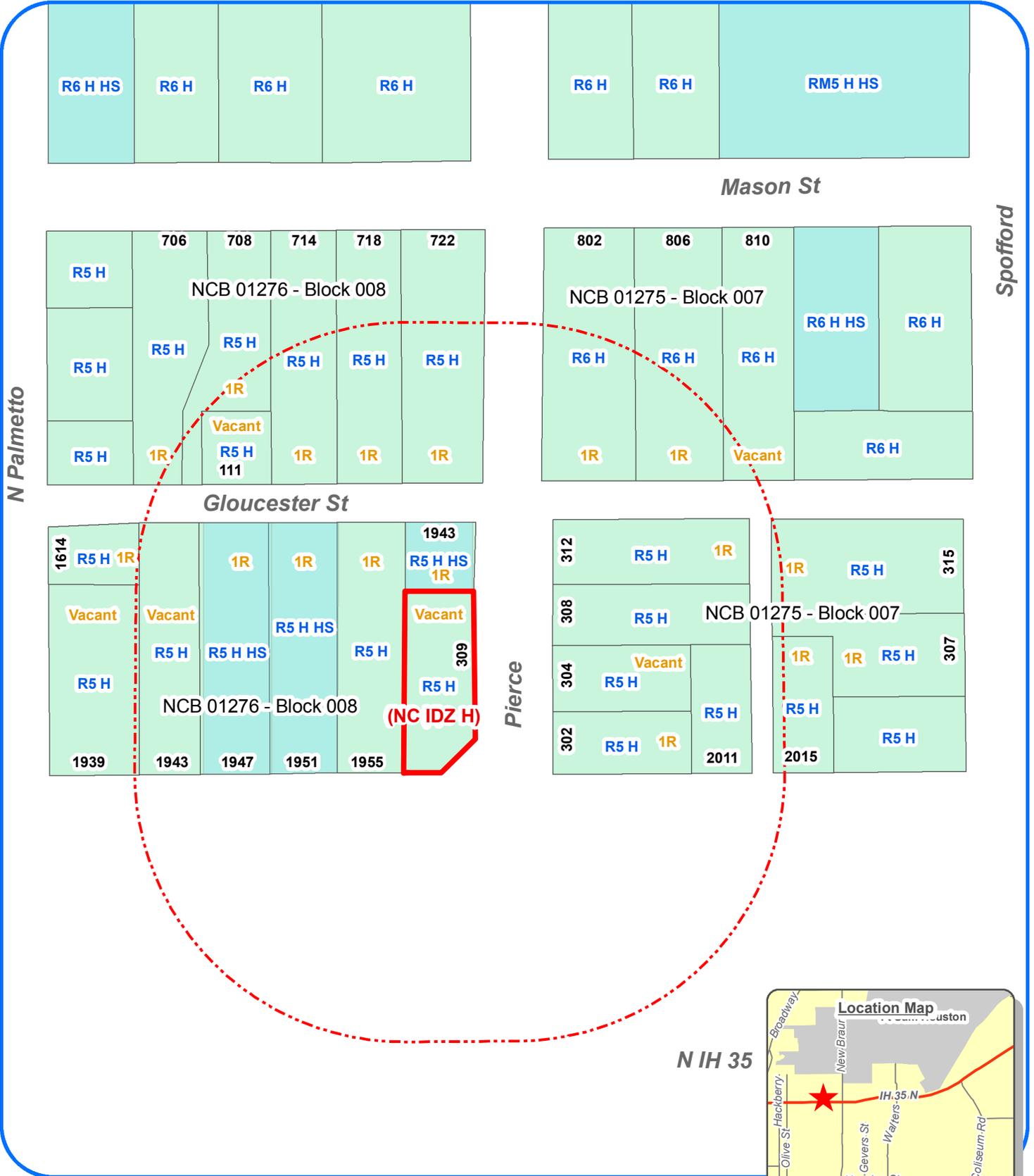
The subject property and the proposed development meet the criteria of the Inner City Reinvestment Infill Policy (ICRIP). This policy provides development fee waivers to applicants and grant funded reimbursement for city departments, in an effort to encourage redevelopment of under-utilized urban properties.

6. Size of Tract:

The current zoning is the result of a 2006 City-initiated large-area rezoning case. The property owner intends to replace the existing residential structure. The subject property does not meet the minimum lot size required by the “R-4” zoning district. The lot size requirement complicates issues of permitting and platting, and may render the lot unusable unless rezoning is approved.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z2011172

Council District 2

Scale: 1" approx. = 100 ft.

Subject Property Legal Description(s): NCB 01276 - Block 008 - Lot 14

Legend

- Subject Properties ——— (0.15 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/01/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011172

Hearing Date: September 20, 2011

Property Owner: Diana Walter

Applicant: John Yoggerst

Representative: Donald Oroian, P.E., c/o ADA Consulting Group, Inc.

Location: 309 Pierce

Legal Description: Lot 14, Block 8, NCB 1276

Total Acreage: 0.15 of an acre

City Council District: 2

Case Manager: Micah Diaz, Planner

Case History: This is the first public hearing for this zoning request. The case has been expedited due to a staff error, and is scheduled for City Council consideration on October 6, 2011.

Proposed Zoning Change

Current Zoning: "R-5 H AHOD" Residential Single-Family Government Hill Historic Airport Hazard Overlay District

Requested Zoning: "NC IDZ H AHOD" Neighborhood Commercial Infill Development Zone Government Hill Historic Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 9, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 25

Neighborhood Associations: Government Hill Alliance

Planning Team Members: 12 – Government Hill Neighborhood Plan

Applicable Agencies: Office of Historic Preservation

Property Details

Property History: The subject property is located within the city limits as they were recognized in 1938, and was originally zoned “D” Apartment District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to “MF-33” Multi-Family District. In a 2009 city-initiated large-area zoning case, the property was rezoned to the current “R-5” Residential Single-Family District. The Government Hill Historic District was adopted in 2002. The property was platted in 2006 and is currently undeveloped.

Topography: The subject property does not include significant features such as slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North, east and west

Current Base Zoning: “R-5” Residential Single-Family District

Current Land Uses: Single-family residences and vacant lots

Direction: Northeast

Current Base Zoning: “R-6” Residential Single-Family District

Current Land Uses: Single-family residences and vacant lots

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

The surrounding properties are located in the Government Hill Historic District, and a number of individual properties carry the “HS” Historic Significant landmark designation, signifying the historic architectural character or cultural significance of the structure or location. Historic Landmark designations do not affect the possible uses of the property, but do regulate the exterior aesthetic of the structure.

Transportation

Thoroughfare: Pierce

Existing Character: Local street; one lane in each direction with sidewalks

Proposed Changes: None known

Thoroughfare: IH-35 Access Road

Existing Character: Freeway access; two lanes, one direction

Proposed Changes: None known

Public Transit: VIA bus lines operate along East Carson and New Braunfels Avenue. There are no bus stops in the immediate vicinity of the subject property.

Traffic Impact: A Traffic Impact Analysis is not required. Infill Development Zone (IDZ) requests are exempt from the TIA requirement.

Parking Information: The “IDZ” Infill Development Zone District eliminates off-street parking requirements.

Staff Analysis and Recommendation: Denial.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Government Hill Community Plan area, and is designated as “Low Density Residential” in the future land use component of the plan. The requested zoning is not consistent with the adopted land use designation.

The applicant has submitted a request to amend the land use designation to “Low Density Mixed Use”. Planning staff recommends denial; Planning Commission recommends approval of the request.

2. Adverse Impacts on Neighboring Lands:

The subject property is surrounded by single-family residential uses. The “IDZ” district waives parking and landscape buffer requirements, and reduces building setbacks in an effort to encourage infill development of vacant or underutilized lots in developed areas where typical development standards can impede new development. However, the relaxed development standards may reduce protections for the surrounding residential uses that would normally serve to mitigate the effects of possible increased vehicle traffic.

3. Suitability as Presently Zoned:

Although the subject property is surrounded by residential uses, the parcel also has frontage on the IH-35 access road. The property can easily accommodate a single-family home, but its proximity to the interstate likely reduces the likelihood of future residential development.

As the property does not have an existing residential structure, approval of the zoning request will not cause a reduction in viable housing stock within the Government Hill Historic District.

4. Health, Safety and Welfare:

Staff has found no evidence of likely negative impacts on public health, safety or welfare related to the zoning request. While approval of the requested zoning may increase traffic to the subject property, increased traffic in the neighborhood is not likely due to the property’s location on the freeway access road at the periphery of the neighborhood.

5. Public Policy:

The Government Hill area has been the subject of two recent City-initiated large-area rezoning efforts. The subject property was included in the most recent rezoning and plan update process. The recent cases reinforced the community’s effort to retain the residential areas of the Government Hill neighborhood. The current zoning and land use designation are the result of the recent cases.

The subject property and the proposed development meet the criteria of the Inner City Reinvestment Infill Policy (ICRIP). This policy provides development fee waivers to applicants and grant funded reimbursement for city departments, in an effort to encourage redevelopment of under-utilized urban properties.

6. Size of Tract:

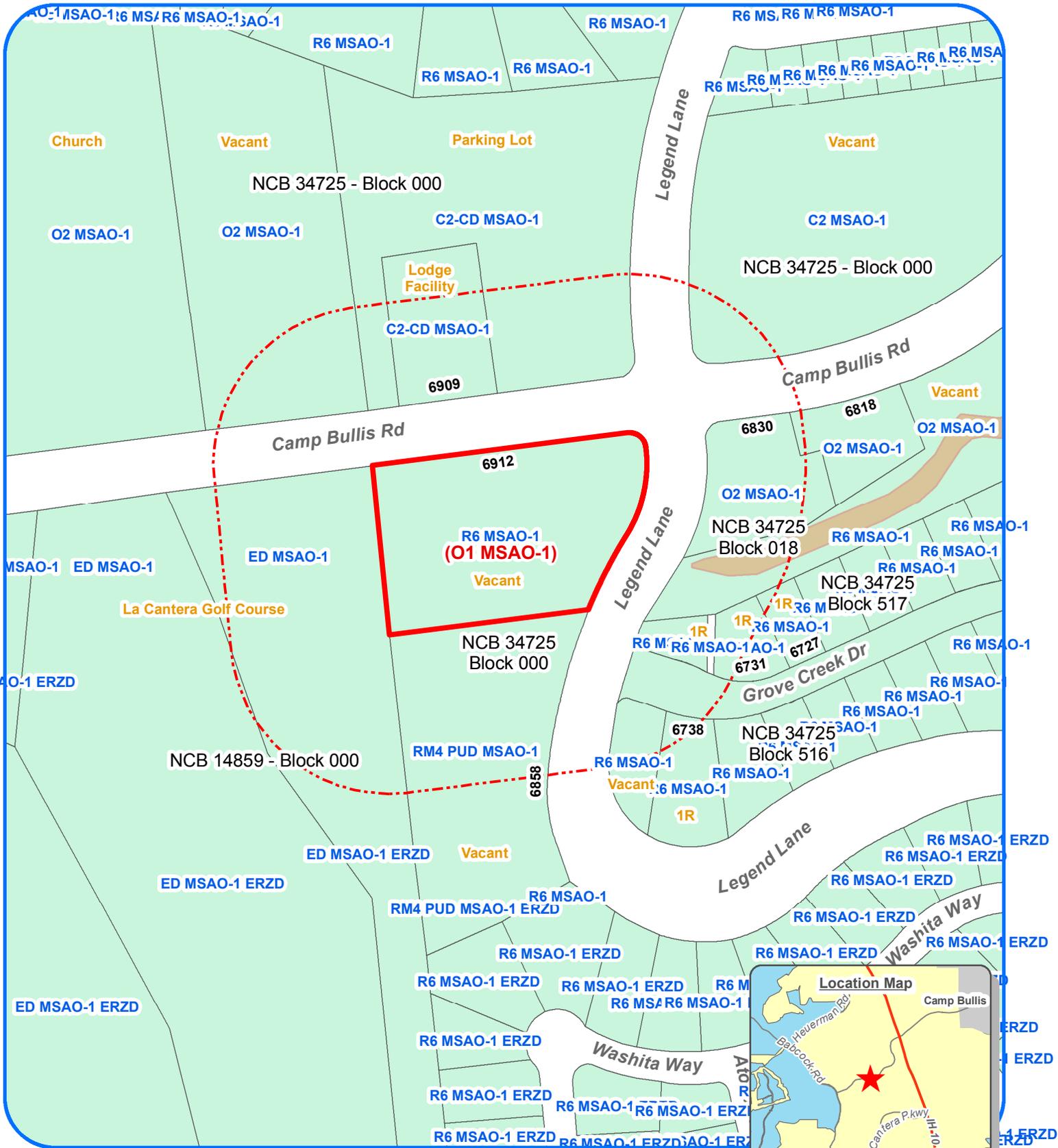
The subject property is approximately 0.15 of an acre in size, which is small for commercial development. The “IDZ” district allows the following reduced building setbacks:

Front setback must be within 10% of the median buildings on the block face; and no new or existing building shall be erected, constructed or expanded to extend within the public right-of-way or within five (5) feet of the rear lot line.

The flexible setbacks, along with design criteria, are meant to ensure infill development is in scale with surrounding existing structures.

7. Other Factors:

The property is located within the Government Hill Historic District; therefore, all building plans will be reviewed and subject to approval by the Historic and Design Review Commission.



Zoning Case Notification Plan

Case Z-2011-175

Council District 8

Scale: 1" approx. = 200 ft.

Subject Property Legal Description(s): NCB 34725 - Block 000 - Parcel P-12

Legend

- Subject Properties ——— (2.274 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/22/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District) and MLOD Zoning (Military Lighting Overlay District)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011175
Hearing Date: September 20, 2011
Property Owner: Garza Brothers Masonry, Baldamaro Garza, and Elier Garza
Applicant: Baldamaro Garza
Representative: P.W. Christensen, P.C.
Location: 6912 Camp Bullis Road
Legal Description: Parcel 12, NCB 34725
Total Acreage: 2.274
City Council District: 3
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-6 AHOD MSAO-1 MLOD-1" Residential Single-Family Airport Hazard Overlay District Camp Bullis Military Sound Attenuation Overlay District-1 Camp Bullis Military Lighting Overlay District-1

Requested Zoning: "O-1 AHOD MSAO-1 MLOD-1" Office Airport Hazard Overlay District Camp Bullis Military Sound Attenuation Overlay District-1 Camp Bullis Military Lighting Overlay District-1

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 1, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 21

Neighborhood Associations: Legend Hills Home Owners Association

Planning Team Members: 90 (North Sector Plan)

Applicable Agencies: None

Property Details

Property History: The subject property was annexed in December of 1998 and was originally zoned Temporary "R-1" Single-Family Residence District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the development.

Adjacent Zoning and Land Uses

Direction: West

Current Base Zoning: "ED AHOD MSAO-1 MLOD-1"

Current Land Uses: La Cantera Golf Course

Direction: South

Current Base Zoning: "RM-4 PUD AHOD MSAO-1 MLOD-1"

Current Land Uses: Vacant Land

Direction: East across Legend Lane

Current Base Zoning: "O-2 AHOD MSAO-1 MLOD-1"

Current Land Uses: Vacant Land

Direction: North across Camp Bullis Road

Current Base Zoning: "C-2 CD AHOD MSAO-1 MLOD-1"

Current Land Uses: Columbus Club Association

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

All surrounding properties carry the "MLOD" Military Lighting Overlay District, due to their proximity to Camp Bullis. The "MLOD" does not restrict permitted uses, but does regulate outdoor lighting in an effort to minimize night-time light pollution and its effects on operations at the military installation.

All surrounding properties carry the "MSAO" Military Sound Attenuation Overlay District, due to their proximity to Camp Bullis. Noise generated from military training exercises and aircraft operations affects quality of life for various San Antonio neighborhoods and business districts. The "MSAO" establishes standards intended to lessen the external noise audible within the interior of noise sensitive structures to a level which greatly mitigates the impact on the general welfare of the public.

Transportation

Thoroughfare: Camp Bullis Road

Existing Character: Secondary Arterial two lanes in each direction.

Proposed Changes: None known.

Thoroughfare: Legend Lane

Existing Character: Collector Street one lane in each direction.

Proposed Changes: None known.

Public Transit: There are no public transit lines in the immediate vicinity.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per 300 sf of GFA. Maximum Parking Requirement: 1 per 140 sf of GFA

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the North Sector Plan area, and is identified as being in the “Suburban Tier” in the Future Land Use component of the Plan. The zoning request is consistent with the adopted land use designation. Neighborhoods where detached retail services such as service stations, professional offices, bakeries, restaurants, bookstores, supermarkets, clinics, hotels, and other retail stores are appropriate

2. Adverse Impacts on Neighboring Lands:

The granting of the "O-1 AHOD MSAO-1 MLOD-1" Office Airport Hazard Overlay District Camp Bullis Military Sound Attenuation Overlay District-1 Camp Bullis Military Lighting Overlay District-1 will not have an adverse impact on the neighboring lands. The "MLOD" regulates outdoor lighting in an effort to minimize night-time light pollution. The “MSAO” establishes standards intended to lessen the external noise audible to a level which greatly mitigates the impact on the general welfare of the public.

3. Suitability as Presently Zoned:

The current "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District is not appropriate for the area. The intersection of Camp Bullis Road and Legend Lane has been established as an office and commercial node.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. The outdoor display or sale of merchandise is prohibited in the "O-1" district. Office uses are suitable buffers between major roadways and residential uses. Buildings shall contain ground level fenestration (transparent windows and openings at street level) consistent with the commercial urban design standards; subsection 35-204(o) of the UDC. Parking shall be located to the rear of the principal use or principal building, provided that up to two (2) rows of parking may be located to the front, or to the side abutting a residential use, of the principal use or principal building.

5. Public Policy:

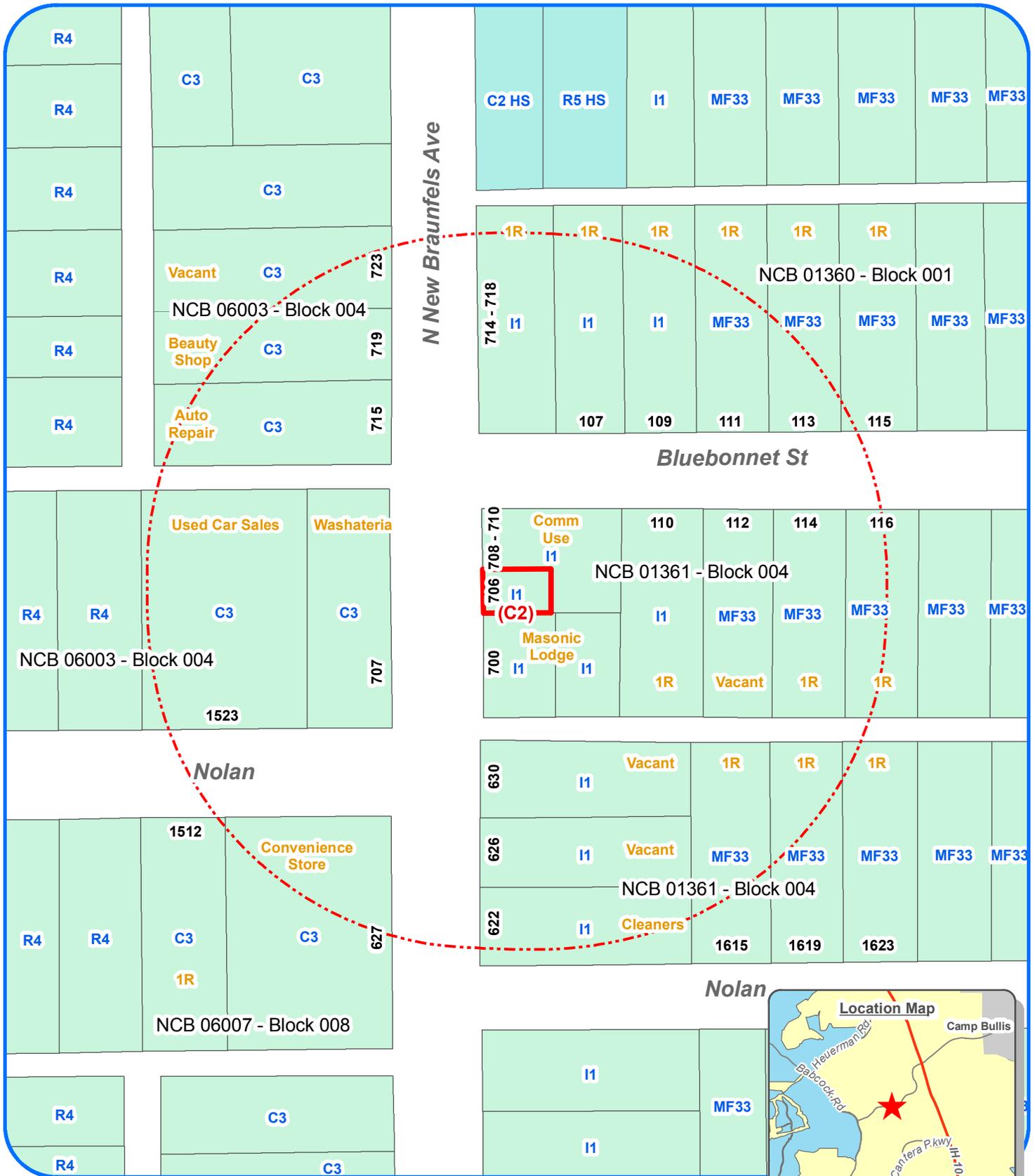
The request does not appear to conflict with any established public policy.

6. Size of Tract:

The 2.274 acre tract is of sufficient size to accommodate the proposed use. Buildings in an "O-1" district shall be restricted to a maximum size of ten thousand (10,000) square feet for individual buildings. Parking shall be located to the rear of the principal use or principal building, provided that up to two (2) rows of parking may be located to the front, or to the side abutting a residential use, of the principal use or principal building.

7. Other Factors:

The subject property is located within the Camp Bullis Awareness Zone/Military Influence Area. In accordance with the signed Memorandum of Understanding between Fort Sam Houston and the City of San Antonio, the Garrison Commander did not review the zoning request because the tract is smaller than 10 acres, is not immediately adjacent to Camp Bullis, and is located south of Loop 1604.



Zoning Case Notification Plan

Case Z-2011-176

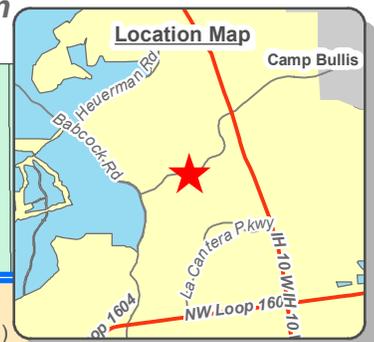
Council District 2

Scale: 1" approx. = 80 ft.

Subject Property Legal Description(s): A Portion of NCB 01361 - Block 004 - N 62.21 ft of Lots 1 & 2

Legend

- Subject Properties (0.0242 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/22/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011176

Hearing Date: September 20, 2011

Property Owner: Marshall Sidberry Ventures, Inc.

Applicant: Angela Adams

Representative: Angela Adams

Location: 706 North New Braunfels Avenue; Located on the southeast side of the intersection of North New Braunfels and Bluebonnet Street.

Legal Description: 0.0242 of an acre out of NCB 1361

Total Acreage: 0.0242

City Council District: 2

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "I-1 AHOD" General Industrial Airport Hazard Overlay District

Requested Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 26

Neighborhood Associations: Harvard Place/Eastlawn Neighborhood Association & Dignowity Hill Neighborhood Association

Planning Team Members: 24 (Arena District/Eastside Community Plan)

Applicable Agencies: None

Property Details

Property History: The subject site is currently developed with a multi-tenant structure. According to the Bexar County Appraisal District, the structure was constructed in 1955. The property is located within the City Limits as they were recognized in 1936, and was originally zoned "J" Commercial District. Upon adoption of the Unified Development Code, the previous base zoning district converted to the current "I-1" General Industrial District. The following uses are currently located on the subject site: an insurance office and a bail bonds office.

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain. The property is currently almost 100% pavement with little vegetation.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: I-1 and MF-33

Current Land Uses: Vacant commercial use and Single-family residences

Direction: South

Current Base Zoning: I-1

Current Land Uses: Vacant commercial use and Vacant land

Direction: West

Current Base Zoning: C-3

Current Land Uses: Laundromat, Auto repair, Auto sales and a Convenience store

Direction: East

Current Base Zoning: I-1 and MF-33

Current Land Uses: Single-family residences and Vacant land

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: North New Braunfels Avenue

Existing Character: Secondary Arterial Type B; 2 lanes in each direction

Proposed Changes: None known.

Thoroughfare: Bluebonnet Street

Existing Character: Local Street; 1 lane in each direction

Proposed Changes: None known.

Public Transit: The nearest VIA busline is the number 20 that operates along North New Braunfels Avenue.

Traffic Impact: A Traffic Impact Analysis is not required.

Parking Information: Minimum Parking Requirement: 1 space per 300 square feet of GFA
Maximum Parking Requirement: 1 space per 200 square feet of GFA

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Arena District/Eastside Community Plan and is currently designated as "Mixed Use" in the Future Land Use Plan. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

Staff has found no evidence of likely adverse impacts on surrounding properties. Changing the zoning from an industrial zoning district to a medium intensity commercial district will support the Arena District/Eastside Community land use plan and ensure appropriate development adjacent to the other established commercial uses.

3. Suitability as Presently Zoned:

The existing zoning is not appropriate for the subject property or the surrounding neighborhood. The industrial zoning is the result of outdated zoning practices that were once common, and that continue to affect the entire surrounding neighborhood. Current zoning practices would not place industrial zoning in or near established residential neighborhoods. Further, medium intensity commercial zoning is most appropriate along arterials or major thoroughfares.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare due to this request. Staff believes that the removal of the industrial zoning would advance public safety in this area, as this type of zoning would introduce heavy vehicles, noise and potential nuisances to this neighborhood.

5. Public Policy:

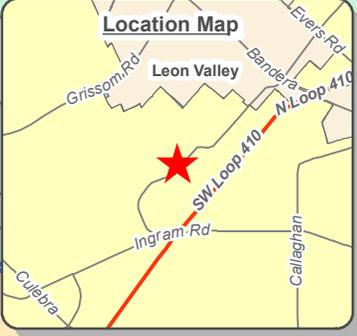
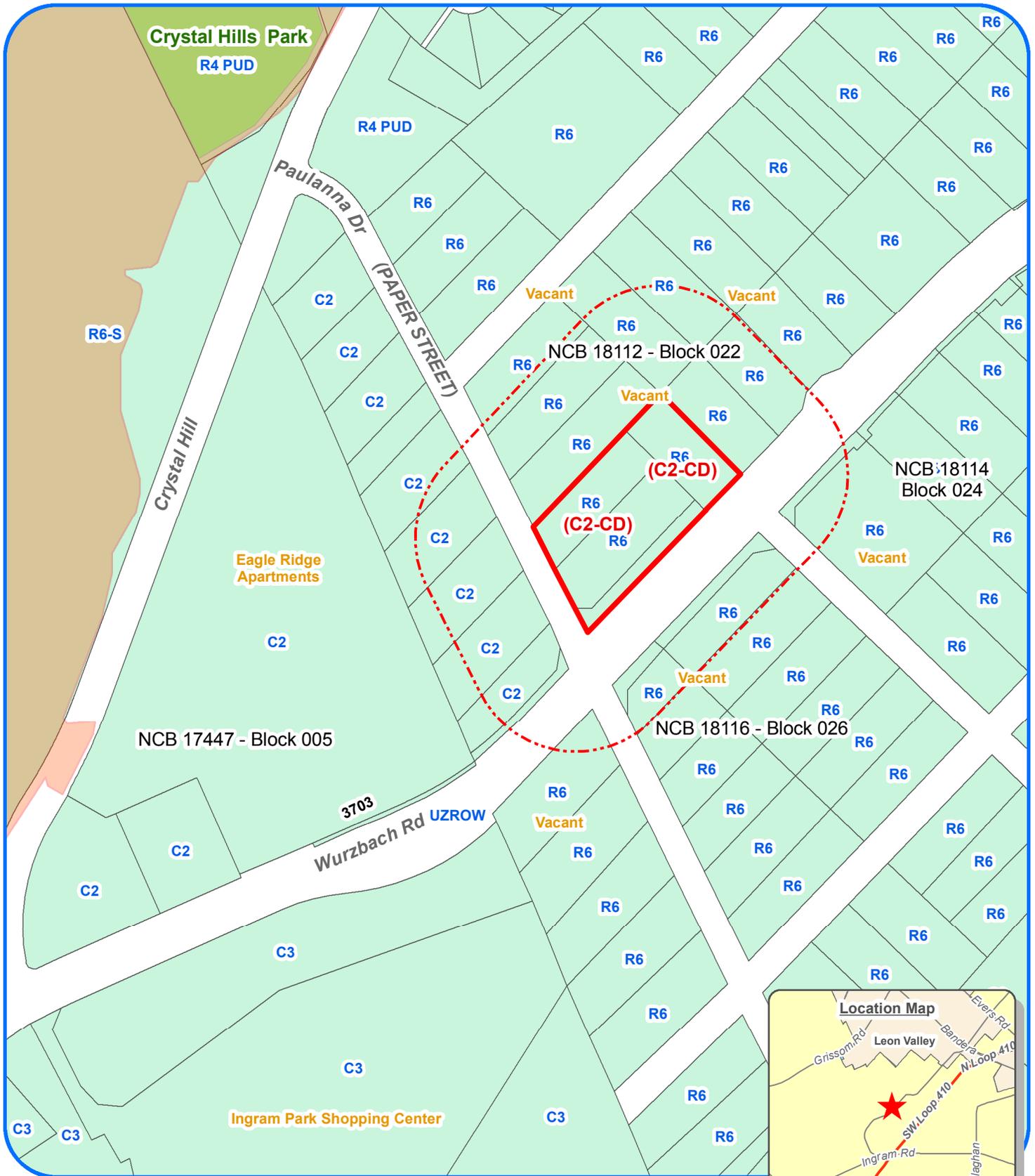
The property is located within the Inner City Reinvestment Policy (ICRIP) area. The purpose of the ICRIP is to promote growth and development in the inner city, specifically in areas that are currently served by public infrastructure and transit, but underserved by residential and commercial real estate markets.

6. Size of Tract:

The subject property is 0.0242 of an acre in size, however the entire tract of land measures 0.1236 of an acre, which should be able to accommodate the commercial use.

7. Other Factors:

None.



Zoning Case Notification Plan

Case Z-2011-177 CD

Council District 7

Scale: 1" approx. = 250 ft.

Subject Property Legal Description(s): NCB 18113 - Block 023 - Lots 9, 10, N Irr 236.74 ft of Lot 7, and N Irr 43.64 ft of Lot 8

Legend

- Subject Properties (1.99 Acres) ▬
- 200' Notification Area - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/29/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio Development Services Department Staff Report

To: Zoning Commission
Zoning Case #: Z2011177 CD
Hearing Date: September 20, 2011
Property Owner: Mid-Ohio Securities Corp
Applicant: R. W. Jones Jr.
Representative: R. W. Jones Jr.
Location: Wurzbach Road
Legal Description: Lot 7, save and except 0.080 of an acre, Lot 8, save and except 0.209 of an acre, Lot 9 and Lot 10, Block 23, NCB 18113
Total Acreage: 1.99
City Council District: 7
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Requested Zoning: "C-2 CD AHOD" Commercial Airport Hazard Overlay District with a Conditional Use for a Self Service Storage

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 1, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 27

Neighborhood Associations: None

Planning Team Members: 98 (West/Southwest Sector Plan)

Applicable Agencies: None

Property Details

Property History: The subject property was annexed in December of 1985 and was originally zoned Temporary "R-1" Single-Family Residence District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the development.

Adjacent Zoning and Land Uses

Direction: Northeast

Current Base Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Current Land Uses: Vacant Land

Direction: Southwest

Current Base Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Current Land Uses: Apartments

Direction: Southeast

Current Base Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Current Land Uses: Vacant Land

Direction: Northwest

Current Base Zoning: "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District

Current Land Uses: Vacant Land

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: Wurzbach Road

Existing Character: Secondary Arterial two lanes in each direction with median for left and right turn movements.

Proposed Changes: None known.

Public Transit: The VIA number 534 bus line operate along Wurzbach Road.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 4 spaces plus 2 for manager's quarters. Maximum Parking Requirement: None

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the West/Southwest Sector Plan area, and is identified as being in the "General Urban Tier" in the Future Land Use component of the Plan. The zoning request is consistent with the adopted land use designation. Related Zoning Districts: R-4, R-3, RM-6, RM-5, RM-4, MF-18, MF-25, MF-33, O-1.5, C-1, C-2, C-2P, and UD.

2. Adverse Impacts on Neighboring Lands:

The granting of the "C-2 CD AHOD" Commercial Airport Hazard Overlay District with a Conditional Use for a Self Service Storage will not have an adverse impact on the area. No external sound systems or live music shall be allowed.

3. Suitability as Presently Zoned:

The existing "R-6 AHOD" Residential Single-Family Airport Hazard Overlay District is not appropriate for the subject property as it is not likely to be used for a single-family development. The proposed commercial district is appropriate because it is situated on the edge of single-family residential zoning and Wurzbach Road a Secondary Arterial.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. Should the zoning change be approved, a Type B 15-foot landscape buffer, 10-foot and 30-foot building setback and will be required where the subject property abuts residential zoning or uses. These development standards will serve to mitigate the possible affects of increased noise and traffic on the subject property.

5. Public Policy:

The request does not appear to conflict with any established public policy.

6. Size of Tract:

The 1.99 acre tract is of sufficient size to accommodate the proposed use. The applicant has submitted a site plan in order to comply with the Conditional Use requirements.

7. Other Factors:

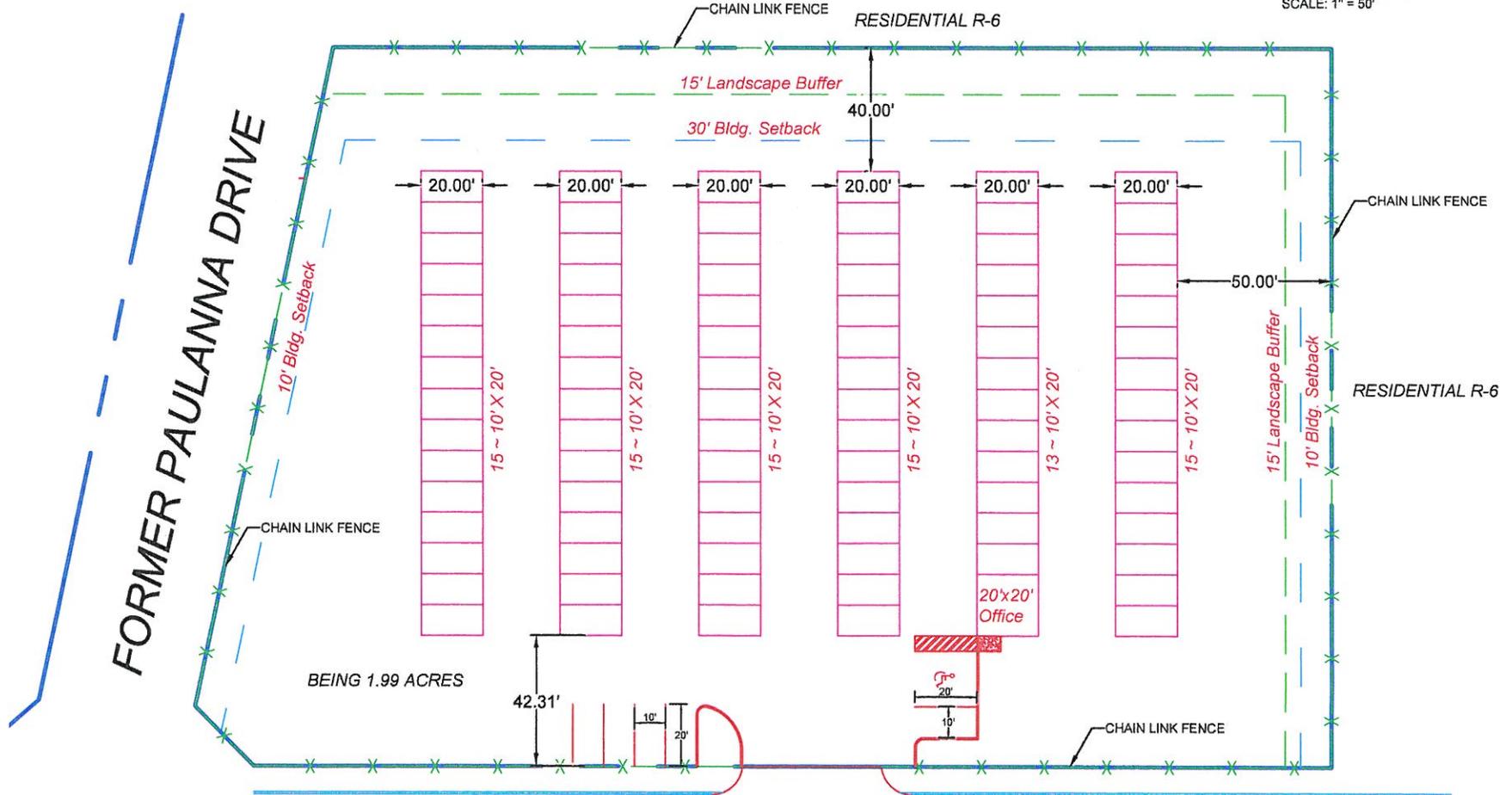
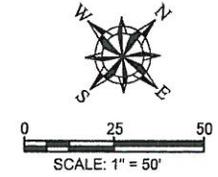
The conditional zoning procedure is designed to provide for a land use within an area that is not permitted by the established zoning district but due to individual site considerations or unique development requirements would be compatible with adjacent land uses under given conditions. The granting of conditional zoning shall only be for the conditional use named in the ordinance (Self Service Storage) approving the conditional zoning district.

The purpose of these landscaping, screening, and buffer requirements is to provide standards that will protect the health, safety and general welfare of the public, enhance property values, and improve the appearance of the community through preservation of natural resources, trees, and native plants and maintaining the ecological balance of the area.

LEGAL DESCRIPTION:

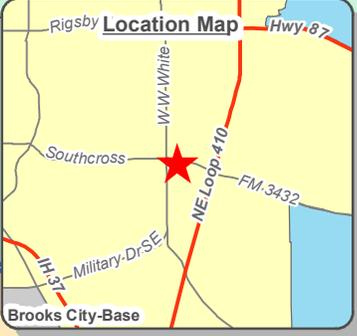
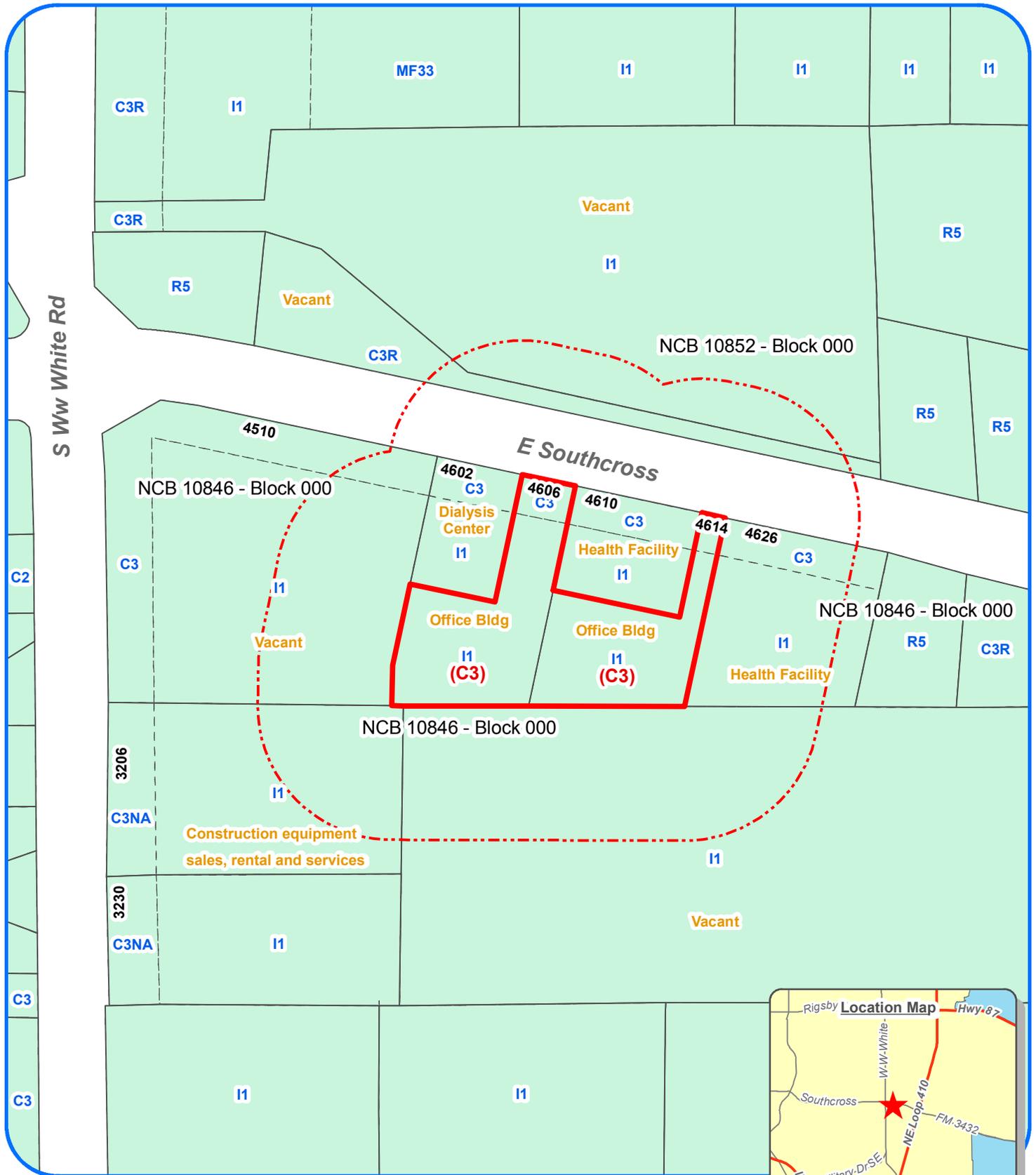
BEING LOTS 7, 8, 9, & 10, (SAVE AND EXCEPT RIGHT-OF-WAY DEDICATION TO TXDOT FROM LOT 7 & LOT 8 ALONG WURZBACH RD), BLOCK 23, NCB 18113, ROLLINGWOOD ESTATES SUBDIVISION, UNIT 4, VOLUME 2805, PAGE 38, DEED AND PLAT RECORDS, CITY OF SAN ANTONIO, BEXAR COUNTY, TEXAS

PROPOSED IMPERVIOUS COVER = 90% (78,016 sf)
PROPOSED PERVIOUS COVER = 10% (8,668 sf)
PROPOSED BLDG SQ FT = 21% (18,000 sf)
PROPOSED PVMT SQ FT = 69% (60,016 sf)
PROPOSED LAND USAGE = SELF STORAGE
PROPOSED ZONING = C2 CDSS



WURZBACH ROAD

I, we, MidOhio Securities Corp., the property owner, acknowledge that this site plan submitted for the purpose of rezoning this property is in accordance with all applicable provisions of the Unified Development Code. Additionally, I understand that City Council approval of a site plan in conjunction with a rezoning case does not relieve me from adherence to any /all City-adopted Codes at the time of plan submittal for building permits.



Zoning Case Notification Plan

Case Z-2011-178

Council District 3

Scale: 1" approx. = 200 ft.

Subject Property Legal Description(s): NCB 10846 - Block 000 - Lots 31 and 33

Legend

- Subject Properties ——— (2.08 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/29/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011178
Hearing Date: September 20, 2011
Property Owner: Zarma One, LLC
Applicant: Zarma One, LLC
Representative: P.W. Christensen, PC c/o Patrick W. Christensen
Location: 4606 and 4614 East Southcross Boulevard
Legal Description: Lots 31 and 33, NCB 10846
Total Acreage: 2.08
City Council District: 3
Case Manager: Andreina Dávila-Quintero, Planner
Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: “C-3” General Commercial District and “I-1” General Industrial District

Requested Zoning: “C-3” General Commercial District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (“UDC”). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city’s internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 10

Neighborhood Associations: Pecan Valley Neighborhood Association. The Lower Southeast Side Neighborhood Association is located within two hundred (200) feet of the subject properties.

Planning Team Members: None

Applicable Agencies: None

Property Details

Property History: A small portion of Lot 33 was annexed in 1952 (Ordinance No. 18115). The remainder of the subject properties was annexed in 1957 (Ordinance No. 25568). The subject properties were originally zoned “A” Single Family Residence District. On February 20, 1986, the City Council approved the rezoning of the subject properties to “B-3” Business District and “I-1” Light Industry District (Ordinance No. 62378). Upon the adoption of

the 2001 UDC, the previous base zoning districts were converted to the current “C-3” General Commercial and “I-1” General Industrial districts, respectively. On December 5, 2003, the Alexanders Medical Park subdivision plat was recorded in the Records of Deeds and Plats of Bexar County, Texas (Volume 9559, Page 113), which created Lots 31 and 33 of the subject properties.

The subject properties consist of a two (2), approximately 8,040-square foot vacant office buildings (4606 and 4614), which were built in 2008 according to the Bexar County Appraisal District.

Topography: The subject properties do not include any abnormal physical features such as significant slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: “C-3R” Restrictive Commercial District and “I-1” General Industrial District

Current Land Uses: Vacant and medical office/facility

Direction: South

Current Base Zoning: “I-1” General Industrial District

Current Land Uses: Construction equipment sales, rental and services, and vacant

Direction: East

Current Base Zoning: “C-3” General Commercial District and “I-1” General Industrial District

Current Land Uses: Medical office/facility

Direction: West

Current Base Zoning: “C-3” General Commercial District and “I-1” General Industrial District

Current Land Uses: Vacant and medical office/facility

Overlay and Special District Information: The subject properties are not within an overlay or special district.

Transportation

Thoroughfare: East Southcross Boulevard

Existing Character: Secondary Arterial Type A, two (2) lanes each way

Proposed Changes: None known

Thoroughfare: South WW White Road.

Existing Character: Primary Arterial Type A, two (2) lanes each way. The intersection of East Southcross Boulevard and South WW White Road is approximately four hundred twenty four (424) feet from the subject properties.

Proposed Changes: None known

Public Transit: VIA bus line 515 operates along East Southcross Boulevard in front of the subject properties with bus stops located on the properties to the north and east of the subject properties, and at the intersection of East Southcross Boulevard and South WW White Road. The bust stop at the intersection of East Southcross Boulevard and South WW White Road connects to bus lines 28 and 550/551. VIA bus line 28 runs to the City’s downtown. VIA bus line 550/551 is a Loop Skip Service that runs to several park and rides facilities and transit centers along Loop 410, Military Highway and WW White Road.

Traffic Impact: A Traffic Impact Analysis (“TIA”) is not required. The traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Table 526-3 of the UDC establishes the minimum and maximum number of parking spaces required on a property, which will be determined by the existing and proposed uses and size of the structures. The applicant is proposing to open a medical clinic/hospital with in-patient care on the subject properties. This medical type use requires a minimum of one (1) parking space for every 400 square feet of floor area. For the two (2) buildings, a minimum of forty (40) parking spaces are required.

Staff Analysis and Recommendation: Approval.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject properties are not within a Neighborhood or Community Plan. However, one (1) of the goals of the City's Master Plan is to ensure that proposed land uses and development are compatible in their use, character and size to the site and the surrounding areas. The subject properties are currently split-zoned with the northern portion as "C-3" General Commercial District and the remainder as "I-1" General Industrial District. The applicant is proposing to rezone the entire property to "C-3" General Commercial District to develop a medical clinic/hospital with in-patient care. A number of the properties to the north, east and west of the subject properties are of similar size, and were developed with medical uses. The existing buildings will become part of an existing medical plaza with the abutting Lots 32 and 34 to the north of the subject properties.

In addition, the subject properties are located on a Secondary Arterial between two (2) major thoroughfares: Loop 410 (highway) and South WW White Road (primary arterial). The "C-3" General Commercial zoning district is best located at intersections of major thoroughfares and at nodes formed by highways and major arterials. While most of this section of East Southcross Boulevard is currently undeveloped, the existing conditions of the area allow the potential development and intense uses of the "C-3" General Commercial District. The proposed zoning and allowable uses on the subject properties are consistent with the surrounding land uses and the area.

2. Adverse Impacts on Neighboring Lands:

The proposed zoning district and development will not have any adverse impact on the neighboring properties. The subject properties are surrounded by other properties of similar size, use and/or zoning district. The proposed medical clinic/hospital on the subject properties will be part of the existing medical plaza located on the abutting Lots 32 and 34 to the north of the southern portion of the subject properties. The proposed zoning district is compatible with and appropriate to the area.

3. Suitability as Presently Zoned:

The "C-3" General Commercial District allows medical uses, to include clinics and hospitals by right in accordance with Table 312-2, Nonresidential Use Matrix, of the UDC. However, these uses are not allowed within the "I-1" General Industrial District, where the existing buildings are located. The current "I-1" General Industrial District resulted from the conversion of the 1965 "I-1" Light Industry District, which allowed medical type uses by right. The conversion of the zoning districts that resulted from the adoption of the 2001 UDC made the properties no longer suitable as presently zoned for the proposed or future development along East Southcross Boulevard.

4. Health, Safety and Welfare:

The proposed zoning district will not adversely impact the health, safety and welfare of the public. The proposed rezoning will allow the subject properties to be developed with similar uses as those within the vicinity, in particular along East Southcross Boulevard.

5. Public Policy:

The City has not adopted any public policies that impact the subject properties or proposed development.

6. Size of Tract:

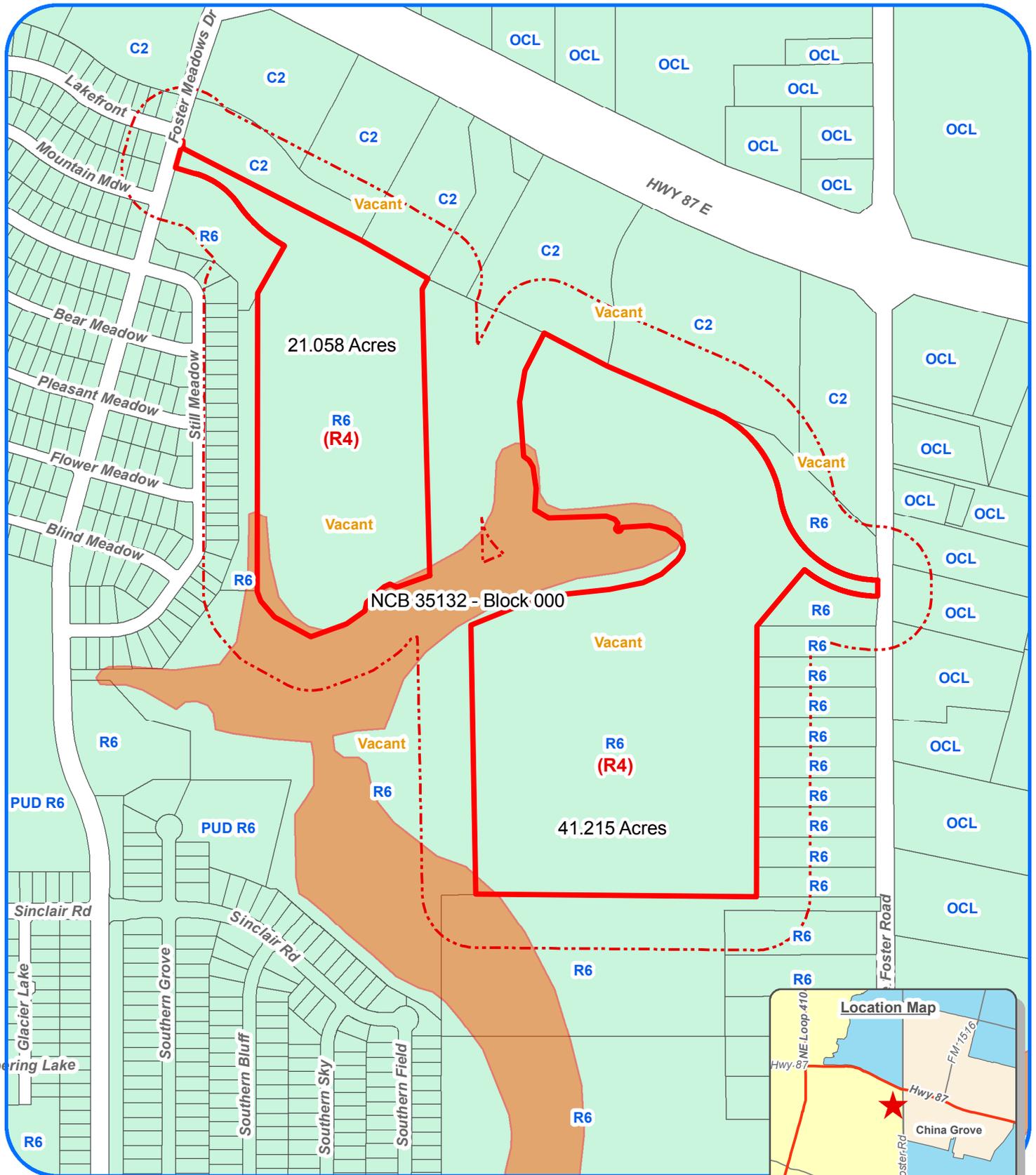
The subject properties comprise of a total area of approximately two (2) acres, which is adequate size for the proposed zoning district. Additionally, the subject properties comply with the 20-foot minimum lot street frontage requirement of the "C-3" General Commercial District as established by the UDC.

7. Other Factors:

While the subject properties are not located within a Neighborhood or Community Plan, it should be noted that the properties to the north of East Southcross Boulevard are located within the Eastern Triangle Community Plan, and have a Regional Commercial Future Land Use ("FLU") designation. According to the Eastern Triangle Community Plan, "C-3" General Commercial District is permitted within the Regional

Commercial FLU designation. While staff recognizes that the subject properties are not located within the boundaries of this land use plan, it is appropriate planning practice to recommend that both block-faces develop in a cohesive, thoughtful pattern. Therefore, the proposed “C-3” General Commercial zoning district is also consistent with the recommended future development along East Southcross Boulevard.

On September 9, 2011, the applicant presented to staff the request to amend the rezoning application from “C-3” General Commercial District to “C-3 NA” General Commercial Nonalcoholic Sales District. The proposed change is within the range of Table 403-2, Intensity Ranges, of the UDC; thus does not require renotification. However, it is the City’s policy that the applicant makes this request to the Zoning Commission during the Public Hearing seeing that the original request was notified prior to submitting to staff the request for amending the application. The district regulations within the “C-3 NA” General Commercial Nonalcoholic Sales District and “C-3” General Commercial District will remain the same with the exception that the sale of alcoholic beverages for on-premises and off-premises consumption is prohibited. Due to the similarity in the district regulations, the proposed “C-3 NA” General Commercial Nonalcoholic Sales District complies with the review criteria for a zoning amendment as presented above. Staff has no objections to the proposed “C-3 NA” General Commercial Nonalcoholic Sales District for the subject properties.



Zoning Case Notification Plan

Case Z-2011-179

Council District 2

Scale: 1" approx. = 500 ft.

Subject Property Legal Description(s): A Portion of NCB 35132 - Block 000 - Parcels P-87 & P-88

Legend

- Subject Properties ——— (62.273 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/23/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011179

Hearing Date: September 20, 2011

Property Owner: En Seguido, Ltd.

Applicant: Harry Jewett

Representative: Harry Jewett

Location: South of U.S. Highway 87 between Foster Road and Foster Meadows Drive (Foster Meadow Subdivision)

Legal Description: A 62.273 acre tract of land out of NCB 35132

Total Acreage: 62.273

City Council District: 2

Case Manager: Pedro Vega, Planner

Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "R-6" Residential Single-Family District

Requested Zoning: "R-4" Residential Single-Family District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 1, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 63

Neighborhood Associations: None

Planning Team Members: 30 (Eastern Triangle Community Plan)

Applicable Agencies: None

Property Details

Property History: The subject property was annexed in December of 2000 and was originally zoned Temporary "R-1" Single-family Residence District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to the current "R-6" Residential Single-Family District.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the development. There is a floodplain located between two areas designated for development.

Adjacent Zoning and Land Uses

Direction: Northwest
Current Base Zoning: "C-2" Commercial District
Current Land Uses: Vacant Land

Direction: South
Current Base Zoning: "R-6" Residential Single-Family District
Current Land Uses: Floodplain and Vacant Land

Direction: East
Current Base Zoning: "R-6" Residential Single-Family District
Current Land Uses: Single-Family Dwellings

Direction: West
Current Base Zoning: "R-6" Residential Single-Family District
Current Land Uses: Vacant Land

Transportation

Thoroughfare: Foster Meadows Drive
Existing Character: Collector Street one lane in each direction.
Proposed Changes: None known.

Thoroughfare: Foster Road
Existing Character: Secondary Arterial one lane in each direction.
Proposed Changes: Secondary Arterial Type A 86 foot ROW.

Public Transit: The VIA number 30 bus lines operate along U.S. Highway 87.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per unit. Maximum Parking Requirement: None

Staff Analysis and Recommendation: Denial. Pending Master Plan Amendment.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is located within the Eastern Triangle Community Plan and is currently designated as "Agriculture and Parks/Open Space" in the Future Land Use Plan. Agriculture uses provide primarily for the preservation of crop agriculture, ranching, and related agribusiness practices. Limited commercial uses directly serving agriculture uses, such as farmers markets, nurseries, and bed and breakfasts, are permitted. Single-family residential units are permitted on agricultural and ranch lands. Where residential uses are permitted, conservation subdivision design is encouraged to conserve open space and provide for continuation of agricultural uses. Parks/Open Space includes large, or linear, unimproved land where conservation is promoted and development is not encouraged due to presence of topographic constraints or institutional uses on the site. Therefore, the requested zoning district is inconsistent with the plan. The applicant has submitted a Master Plan Amendment to "Low Density Residential" that was considered and approved by the Planning Commission on August 24, 2011. Planning and Community

Development Department Staff recommends denial of the Master Plan Amendment with an alternate recommendation to "Rural Living" land use.

2. Adverse Impacts on Neighboring Lands:

The granting of the "R-4" Residential Single-Family District could potentially have an adverse impact on the neighborhood. The rezoning case would allow a higher density residential development and would cause additional traffic.

3. Suitability as Presently Zoned:

The current "R-6" Residential Single-Family District allowing up to 7 dwelling units per gross acre (435 units) is more appropriate for the area. The granting of the "R-4" Residential Single-Family District will allow 11 dwelling units per gross acre (685 units).

4. Health, Safety and Welfare:

Staff has found indication of likely adverse effects on the public health, safety, or welfare. The "R-4" Residential Single-Family District does not meet the criteria for large lot, low density residential development.

5. Public Policy:

The request does appear to conflict with the established Eastern Triangle Community Plan.

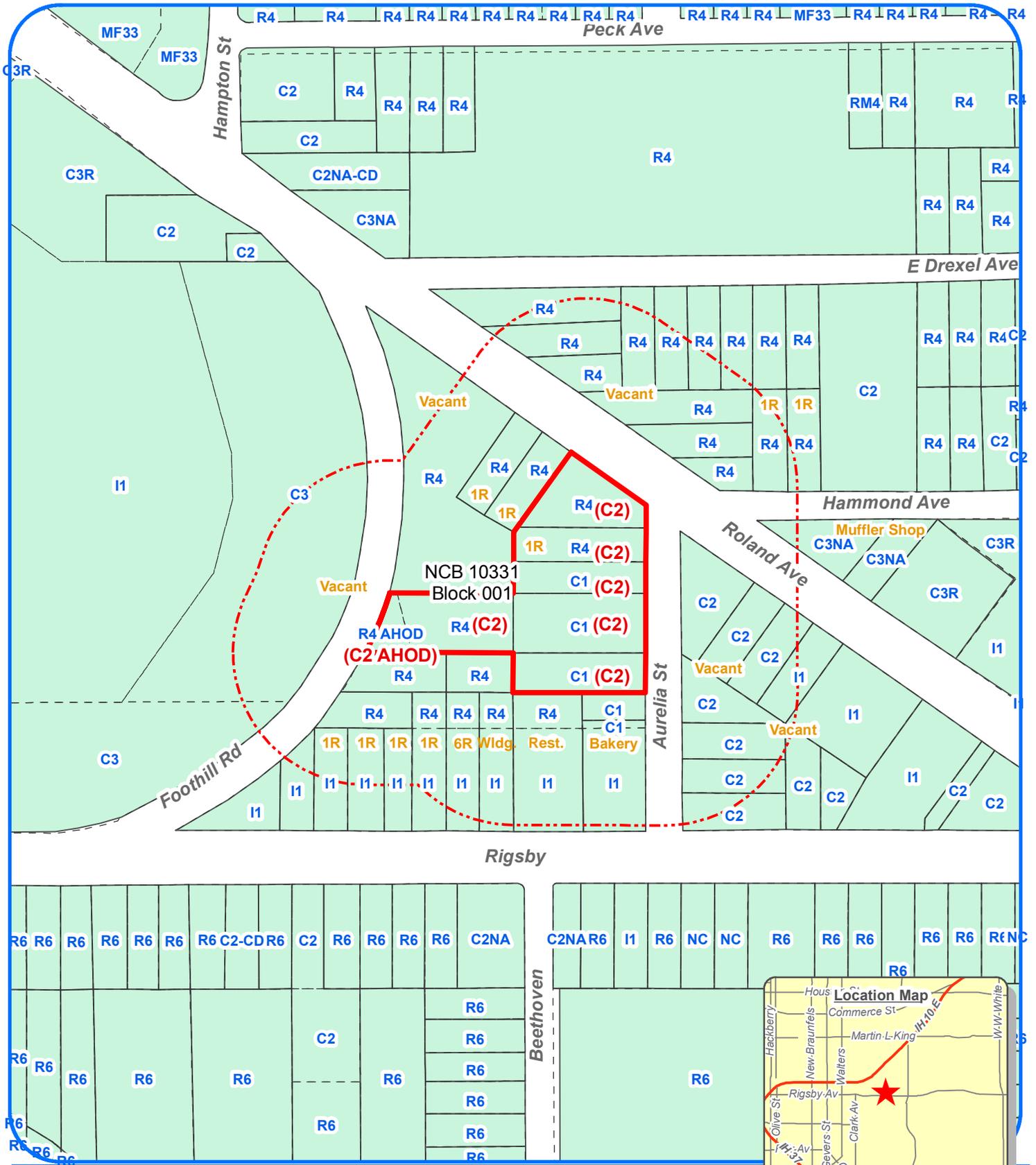
6. Size of Tract:

The 62.273 acre tract is of sufficient size to accommodate the development. Tract 1 is 21.058 acres and Tract 2 is 41.215 acres.

7. Other Factors:

The change of zoning will be to revise the zoning classification on 62.273 acres of the Foster Meadows Subdivision. The current "R-6" Residential Single-Family District requires a minimum 6,000 square foot lot size. The zoning classification requested is "R-4" Residential Single-Family District that requires a minimum 4,000 square foot lot size. This zoning case would allow the development of these lots for their intended use.

Rural Living supports the principles of preserving rural residential character while retaining open space and scenic corridors. The Rural Living classification may provide a transitional area between more urbanized dense development and significantly rural, open and agricultural land uses. Residential uses are composed mainly of single-family dwellings on individual estate lots.



Zoning Case Notification Plan

Case Z-2011-180

Council District 2

Scale: 1" approx. = 200 ft.

Subject Property Legal Description(s): NCB 10331 - Block 001 - Lots 5, 8, 18, 19, 20, 21, 22, and N 40 ft of Lot 9

Legend

Subject Properties (1.86 Acres)

200' Notification Area

Current Zoning

Requested Zoning Change

100-Year DFIRM Floodplain

Single Family Residential

1R



Development Services Dept
City of San Antonio
(08/23/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011180
Hearing Date: September 20, 2011
Property Owner: Raymundo Y. Lopez and Mary B. Lopez
Applicant: Overland Properties, Rod Hamby
Representative: Brown and Ortiz, P.C. c/o James Griffin
Location: Generally located at the southwest corner of Roland Avenue and Aurelia Street
Legal Description: Lots 5, 8, 18 through 22, and the north forty (40) feet of Lot 9, Block 1, NCB 10331
Total Acreage: 1.86
City Council District: 2
Case Manager: Andreina Dávila-Quintero, Planner
Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: “R-4 AHOD” Residential Single-Family Airport Hazard Overlay District, “R-4” Residential Single-Family District and “C-1” Light Commercial District

Requested Zoning: “C-2 AHOD” Commercial Airport Hazard Overlay District and “C-2” Commercial District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (“UDC”). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city’s internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 47

Neighborhood Associations: The Artesia Community Guild is located within two hundred (200) feet of the subject properties.

Planning Team Members: None

Applicable Agencies: None

Property Details

Property History: The subject properties are part of the Grand View Addition subdivision that was recorded with the Deed Records of Bexar County, Texas on February 18, 1891 (Volume 72, Page 519). The subject properties were annexed in 1951 (Ordinance No. 15765), and were originally zoned “B” Residence District. Upon the adoption of the

2001 UDC, the previous base zoning district was converted to the “R-4” Residential Single-Family District. On June 10, 2004, the City Council approved the rezoning of Lots 19 through 22 of the subject properties to “C-1” Light Commercial District (Ordinance No. 99340).

The subject properties consist of one (1) single-family residential structure on Lot 18 that was built in 1958 according to the Bexar County Appraisal District.

Topography: The subject properties do not include any abnormal physical features such as significant slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: “R-4” Residential Single-Family District

Current Land Uses: Vacant

Direction: South

Current Base Zoning: “R-4” Residential Single-Family District and “C-1” Light Commercial District

Current Land Uses: Vacant and restaurant

Direction: East

Current Base Zoning: “C-2” Commercial District and “C-3 NA” General Commercial Nonalcoholic Sales District

Current Land Uses: Vacant, and Tire and Muffler Shop

Direction: West

Current Base Zoning: “R-4” Residential Single-Family District, “C-3” General Commercial District

Current Land Uses: Single-Family and vacant

Overlay and Special District Information: The western portion of the subject properties [a portion of Lot 8 and the north forty (40) feet of Lot 9] is located within the “AHOD” Airport Hazard Overlay District due to its proximity to an airport or approach path. The “AHOD” Airport Hazard Overlay District does not restrict permitted uses, but may require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration (“FAA”).

Transportation

Thoroughfare: Roland Avenue

Existing Character: Primary Arterial Type A, two (2) lanes each way.

Proposed Changes: None known

Thoroughfare: Aurelia Street

Existing Character: Local Street, one (1) lane each way. Aurelia Street runs north-south, and extends between Roland Avenue to the north and Rigsby Avenue to the south.

Proposed Changes: None known

Thoroughfare: Foothill Road

Existing Character: Local Street, unimproved. The Foothill Road right-of-way runs north-south direction, and extends between Roland Avenue to the north and Rigsby Avenue to the south.

Proposed Changes: None known. However, improvement of a portion of the street may be required through the subdivision/replat process.

Thoroughfare: Rigsby Avenue.

Existing Character: Collector Street west of Roland Avenue, two (2) lanes each way with a median. The intersection of Aurelia Street and Rigsby Avenue is approximately two hundred (200) feet from the subject properties.

Proposed Changes: None known

Public Transit: VIA bus lines 30 and 230 run along Rigsby Avenue with a bus stop located at the intersection of Rigsby Avenue and Beethoven Street south of the subject properties. VIA bus line 230 is a late night lineup service.

Traffic Impact: A Traffic Impact Analysis (“TIA”) is required.

Parking Information: The applicant is proposing to develop the subject properties with a retail store. Table 526-3 of the UDC establishes the minimum and maximum number of parking spaces required on a property, which will be determined by the proposed use(s) and size of the structure(s).

Staff Analysis and Recommendation: Approval.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject properties are not within a Neighborhood or Community Plan. However, one (1) of the goals of the City’s Master Plan is to ensure that proposed land uses and development are compatible in their use, character and size to the site and the surrounding areas. The subject properties are currently split-zoned with “C-1” Light Commercial and “R-4” Residential Single-Family base zoning districts. The applicant is proposing to rezone the entire property to “C-2” Commercial District to develop retail use. The subject properties are surrounded by other commercial and industrially zoned properties that are undeveloped or have similar commercial uses such as a bakery and restaurant; particularly along the Roland Avenue corridor and Rigsby Avenue. Single-family and multi-family residential uses are also within the vicinity. The proposed zoning district and allowable uses are consistent with the development pattern of the area.

2. Adverse Impacts on Neighboring Lands:

The proposed zoning district and allowable uses will not have an adverse impact on the neighboring properties. The subject properties are surrounded by other properties of similar use and/or zoning district. Furthermore, the subject properties are located on the perimeter of the commercial node at the intersection of Roland Avenue and Rigsby Avenue, which makes the proposed zoning district compatible with and appropriate to the area.

3. Suitability as Presently Zoned:

The applicant is proposing to rezone the subject properties to “C-2” Commercial District to develop a retail store, which is consistent with the uses in the vicinity, especially with the commercial node located at the intersection of Roland Avenue and Rigsby Avenue. The current “R-4” Residential Single-Family District on a portion of the subject properties does not allow retail or other commercial type uses. Additionally, while the “C-1” Light Commercial District does allow some retail uses, it limits the potential development of the property through uses, building size and other design standards. The proposed “C-2” will allow the property to develop in a similar pattern as the surrounding commercial districts along the Roland Avenue corridor.

4. Health, Safety and Welfare:

The proposed zoning district will not adversely impact the health, safety and welfare of the public. The proposed rezoning will allow the subject properties to be developed with similar uses as those within the vicinity, in particular along Roland Avenue and the commercial node at the intersection of Roland Avenue and Rigsby Avenue.

5. Public Policy:

The City has not adopted any public policies that impact the subject properties or proposed development.

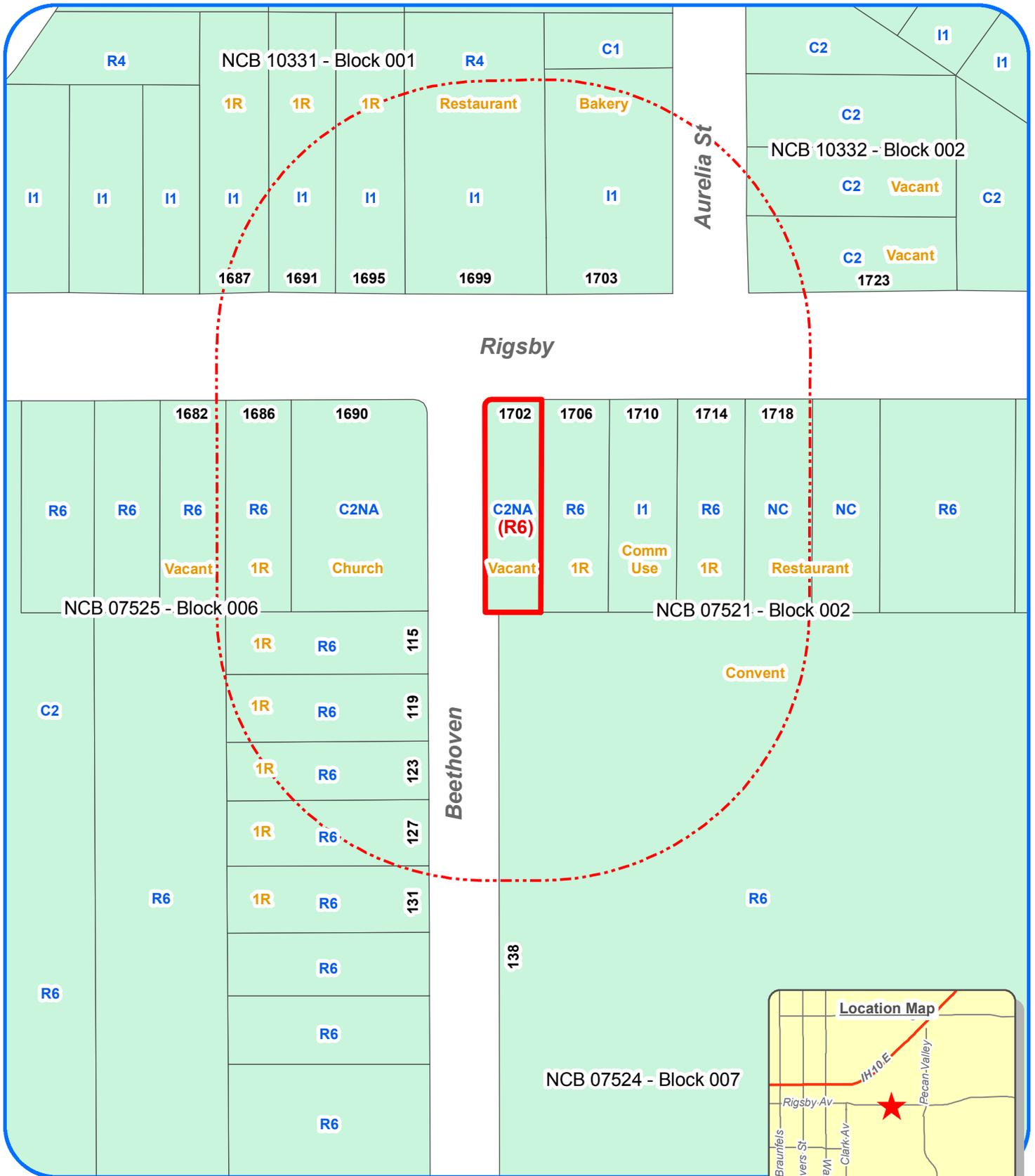
6. Size of Tract:

The subject properties comprise of a total area of approximately 1.86 acres, which is adequate size for the proposed zoning district. Additionally, the subject properties comply with the 20-foot minimum lot street frontage requirement of the “C-2” Commercial District as established by the UDC on all three (3) street frontages.

7. Other Factors:

While the subject properties are not located within a Neighborhood or Community Plan, it should be noted that the properties to the north of Roland Avenue are located within the Eastern Triangle Community Plan, and have a High Density Mixed Use Future Land Use (“FLU”) designation. This FLU designation allows a

range of uses and zoning districts from single-family residential to commercial zoning districts. According to the Eastern Triangle Community Plan, "C-2" Commercial District is permitted within the High Density Mixed Use FLU designation. While staff recognizes that the subject properties are not located within the boundaries of this land use plan, it is appropriate planning practice to recommend that both block-faces develop in a cohesive, thoughtful pattern. Therefore, the proposed "C-2" Commercial base zoning district is also consistent with the recommended future development along Roland Avenue.



Zoning Case Notification Plan

Case Z-2011-184

Council District 3

Scale: 1" approx. = 100 ft.

Subject Property Legal Description(s): NCB 07521 - Block 002 - Lot 1, Exc NW Tri

Legend

- Subject Properties ——— (0.1718 Acres)
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change (TEXT)
- 100-Year DFIRM Floodplain
- Single Family Residential 1R



Development Services Dept
City of San Antonio
(08/24/2011 - E Hart)



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission
Zoning Case #: Z2011184
Hearing Date: September 20, 2011
Property Owner: Raymundo Y and Mary B Lopez
Applicant: Ryamundo Y. Lopez
Representative: Virginia Lopez Gonzales
Location: 1702 Rigsby Avenue
Legal Description: Lot 1, Block 2, NCB 7521, save and except that portion conveyed to the City of San Antonio in Volume 4752, Page 172, Real Property Records of Bexar County.
Total Acreage: 0.1718
City Council District: 3
Case Manager: Pedro Vega, Planner
Case History: This is the first public hearing for this zoning request.

Proposed Zoning Change

Current Zoning: "C-2NA" Commercial Nonalcoholic Sales District

Requested Zoning: "R-6" Residential Single-Family District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 1, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 23

Neighborhood Associations: None

Planning Team Members: None

Applicable Agencies: None

Property Details

Property History: The subject site is currently a vacant tract of land. The subject property was annexed in September of 1944 and was originally zoned "J" Commercial District. Upon adoption of the 2001 Unified Development Code, the previous zoning district converted to "I-1" General Industrial District. In a 2009 City-initiated case, the property was rezoned to "C-2NA" Commercial Nonalcoholic Sales District.

Topography: The subject property is relatively flat and has no physical characteristics that are likely to affect the development.

Adjacent Zoning and Land Uses

Direction: West across Beethoven Street

Current Base Zoning: "C-2NA" Commercial Nonalcoholic Sales District

Current Land Uses: Church

Direction: South

Current Base Zoning: "R-6" Residential Single-Family District

Current Land Uses: Convent

Direction: East

Current Base Zoning: "R-6" Residential Single-Family District

Current Land Uses: Single-Family Dwelling

Direction: North across Rigsby Avenue

Current Base Zoning: "I-1" General Industrial District

Current Land Uses: Restaurant

Transportation

Thoroughfare: Rigsby Avenue

Existing Character: Collector Street two lanes in each direction.

Proposed Changes: None known.

Thoroughfare: Beethoven Street

Existing Character: Local Access Street one lane in each direction.

Proposed Changes: None known.

Public Transit: The VIA number 30 and 230 bus lines operate along Rigsby Avenue.

Traffic Impact: A Traffic Impact Analysis (TIA) is not required because traffic generated by the proposed development does not exceed the threshold requirements.

Parking Information: Minimum Parking Requirement: 1 per unit. Maximum Parking Requirement: None

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood Plan, Community Plan or Sector Plan.

2. Adverse Impacts on Neighboring Lands:

The granting of the "R-6" Residential Single-Family District will not have an adverse impact on the neighborhood. Surrounding existing land uses are commercial and residential in character and the proposed zoning change is consistent with these uses.

3. Suitability as Presently Zoned:

The current "C-2NA" Commercial Nonalcoholic Sales District and proposed "R-6" Residential Single-Family District are both appropriate for the area. The "R-6" Residential Single-Family District will provide an opportunity for development of a vacant lot.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare. The rezoning request to "R-6" Residential Single-Family District is a less intense use than the existing "C-2NA" Commercial Nonalcoholic Sales District. The subject property fronts on a Collector Street.

5. Public Policy:

The request does not appear to conflict with any established public policy.

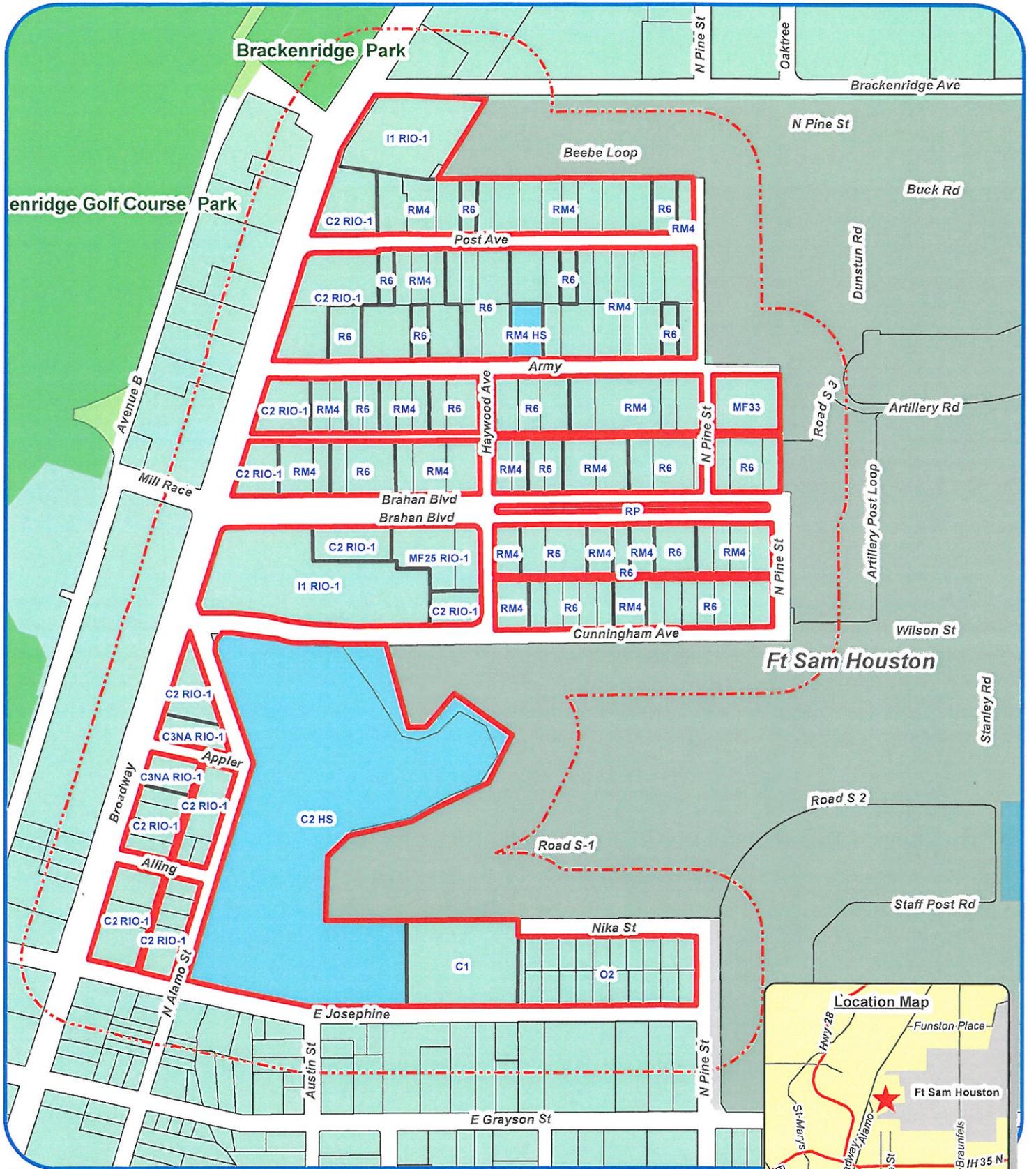
6. Size of Tract:

The 0.1718 acre tract is of sufficient size to accommodate a single-family dwelling.

7. Other Factors:

The "R-6" Residential Single-Family District is a downzoning from the current "C-2NA" Commercial Nonalcoholic Sales District.

The owners of the property intend to move a single-family dwelling located one block away that will otherwise be demolished.



Zoning Case Notification Plan

Case Z-2011-185

Council District 2

Scale: 1" approx. = 400 ft.

Subject Property Legal Description(s): Various

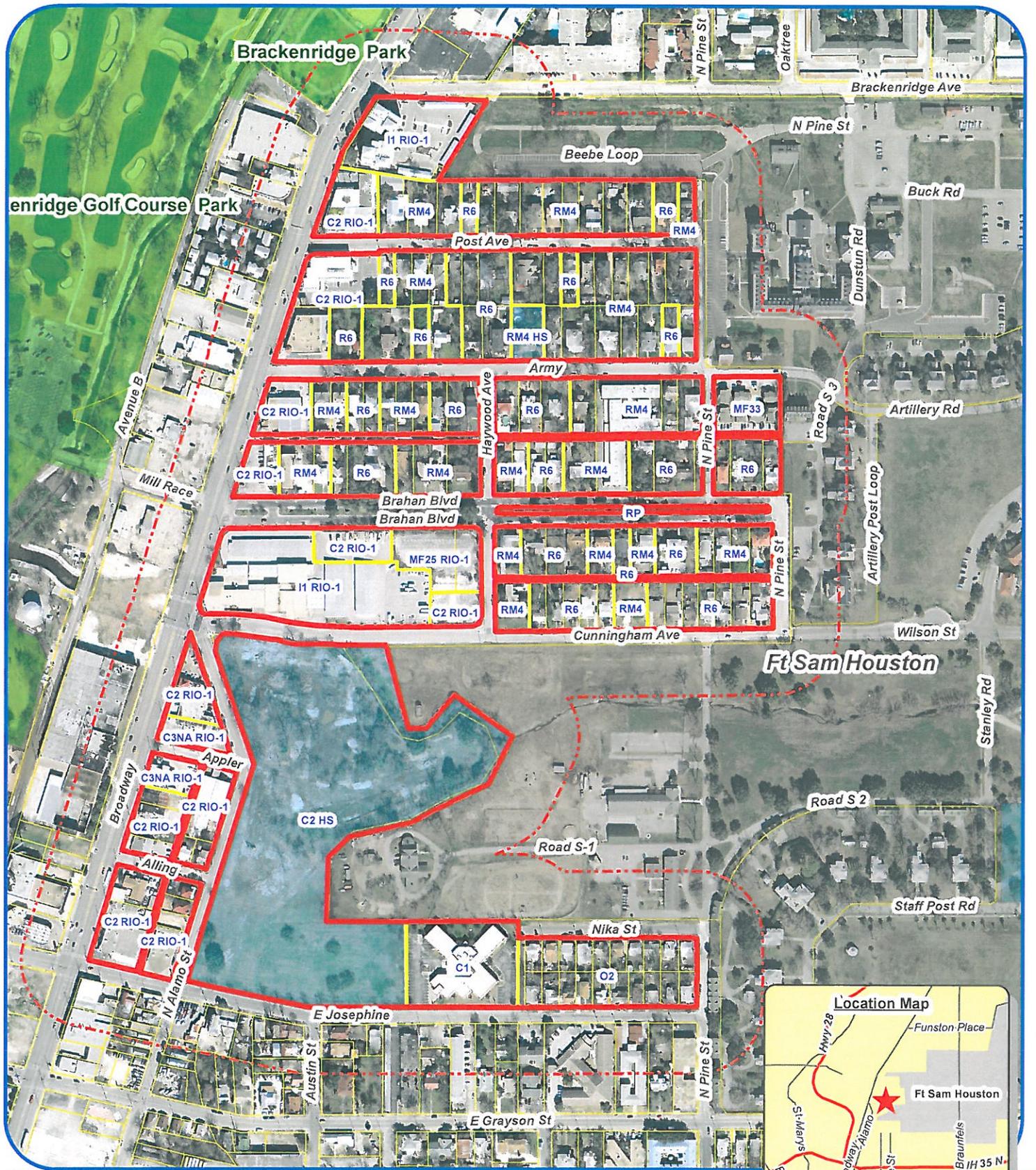
Legend

- Subject Properties (155 Properties, 60.96 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **NCD-9 Added to Existing Zoning**
- Historical Zoning ———
- Single Family Residential **1R**

Development Services Dept
City of San Antonio
(08/24/2011 - E Hart)



Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



Zoning Case Notification Plan

Case Z-2011-185

Council District 2

Scale: 1" approx. = 400 ft.

Subject Property Legal Description(s): Various

Legend

- Subject Properties ——— (155 Properties, 60.96 Acres)
- 200' Notification Area - - - - -
- Current Zoning **TEXT**
- Requested Zoning Change **NCD-9 Added to Existing Zoning**
- Historical Zoning ———
- Single Family Residential **1R**

Development Services Dept
City of San Antonio
(08/24/2011 - E Hart)



Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Planning and Community Development Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011185

Hearing Date: September 20, 2011

Property Owner: Multiple property owners

Applicant: City of San Antonio

Representative: Gary Edenburn

Location: Multiple lots located within the municipal boundary of the City of San Antonio and generally bound by Brackenridge and Beebe Loop Streets to the north, North Pine Street to the east, East Josephine Street to the south, and Broadway to the west.

Legal Description: Multiple legal descriptions

Total Acreage: Approximately 80

City Council District: 2

Case Manager: Gary Edenburn, Senior Planner

Case History: This is the first public hearing for this zoning request

Proposed Zoning Change

Current Zoning: Multiple zoning districts

Requested Zoning: Multiple zoning districts with the adoption and application of the Westfort Neighborhood Conservation District (NCD-9)

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 6, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Number of Affected Properties: 160

Owners of Property within 200 feet: 53

Neighborhood Associations: Westfort Alliance Neighborhood Association

Planning Team Members: 14 - Westfort Alliance Neighborhood Plan

Applicable Agencies: San Antonio Office of Historic Preservation, Development Services Department, and Aviation Department, San Antonio Independent School District

Property Details

Property History: The Westfort area is an established neighborhood of approximately 100 homes situated between Fortt Sam Houston to the east and Broadway to the west. Over 80% of the homes were built prior to 1960 for military officer housing. Currently the neighborhood is experiencing revitalization in part due to expansion and redevelopment efforts at Fort Sam Houston and the San Antonio River Improvements Project.

Topography: The Westfort Neighborhood exhibits moderate to steep sloping topography. The streetscape includes mature trees and vegetation.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: R6, MF-33, C-2, C-3, C-3NA

Current Land Uses: Single family residences, multi-family residences, various commercial uses along Broadway

Direction: South

Current Base Zoning: C-2, C-3, C-3NA, MR

Current Land Uses: various commercial uses along Broadway, vacant land, Fort Sam Houston

Direction: East

Current Base Zoning: MR

Current Land Uses: Fort Sam Houston

Direction: West

Current Base Zoning: C-2, C-3NA, R-6

Current Land Uses: various commercial uses along Broadway, multi-family residences, Brackenridge Golf Course

Overlay and Special District Information: All surrounding properties include the “AHOD” Airport Hazard Overlay District designation due to their proximity to an airport or approach path. The “AHOD” does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Several of the subject properties and adjacent properties include the “RIO-1” River Improvement Overlay District-1 designation due to their proximity to the San Antonio River. The purpose of this district is to protect, preserve, and enhance the San Antonio River and associated improvements through the enforcement of site and building design standards on abutting and adjacent properties. Building permits within this overlay district require review by the Office of Historic Preservation.

The properties to the north on the east side of Broadway include the “NCD-6” Mahncke Park Neighborhood Conservation District designation. Similar to the proposed Westfort Alliance Neighborhood Conservation District, the Mahncke Park Neighborhood Conservation District was established to help ensure development and building rehabilitation projects are compatible with surrounding structures to protect the character of the area from insensitive or incompatible development.

The property addressed as 2201 and 2301 Broadway includes the “IDZ” Infill Development Zone designation. The purpose of this district is to establish flexible standards for the development and reuse of underutilized parcels.

The property located southeast of the intersection of North Alamo Street and Cunningham Avenue includes the “HS” Historic Significant Overlay District designation. In June 2010, the “HL” Historic Landmark Overlay District was created as a consolidation of the previous “HS” Historic Significant Overlay District and “HE” Historic Exceptional Overlay District. Historic Landmarks are resources that have been officially recognized by the City of San Antonio for their outstanding historical, cultural, architectural, or archaeological significance.

Transportation

Thoroughfare: Broadway

Existing Character: Primary Arterial Type B, 3 automobile travel lanes in each direction

Proposed Changes: A cross section redesign is proposed by the MidTown Brackenridge Plan. Funding has not been allocated.

Public Transit: VIA bus lines 9, 10, and 14 run along Broadway with multiple bus stops along the corridor.

Traffic Impact: The TIA requirement is waived for City initiated cases.

Parking Information: Parking requirements are based on individual use.

Staff Analysis and Recommendation: Approval

Overview

The proposed Westfort Neighborhood Conservation District is bound by Brackenridge and Beebe Loop Streets to the north, North Pine Street to the east, East Josephine Street to the south, and Broadway to the west. The proposed Westfort Neighborhood Conservation District area consists of approximately 80 acres of land and 160 parcels, primarily of "RM-4" Residential Mixed District zoning. Other zoning designations that are located within the proposed Westfort Neighborhood Conservation District area include "C-1" Commercial, "C-2 HS" Commercial Historic Significant, "C-2 RIO-1" Commercial River Improvement Overlay District 1, "C3NA RIO-1" General Commercial District Nonalcoholic Sales River Improvement Overlay District 1, "I-1 RIO-1" Industrial River Improvement Overlay District 1, "MF-33" Multi-Family District, "O-2" Office, "PUD RIO-1" Planned Unit Development River Improvement Overlay District 1, "R-6" Residential.

The Westfort Alliance Neighborhood Association petitioned the city for the NCD designation in the summer of 2010. On August 10, 2010, Westfort was selected for this designation based on the application criteria, petitioned signatures of property owners, and the goals identified in the Westfort Alliance Neighborhood Plan. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The proposed Westfort Neighborhood Conservation District meets the ordinance requirement with 84% of the land area containing structures that are at least 25 years old and presently improved. According to the Bexar County Appraisal data, 82% of the Westfort neighborhood structures were built prior to 1960.

A Neighborhood Conservation District has design standards which address the character-defining features of the neighborhood and reflect the style and/or form of the neighborhood block. It is a neighborhood revitalization tool that provides a more predictable course of development for both neighborhood property owners and the development community. Neighborhood Conservation Districts are designed as overlays to the regular zoning districts; properties within the proposed boundary will maintain the base zoning designation.

Public Process

The proposed design standards identified in the Westfort Neighborhood Conservation District document were developed through a year-long public participation process where all property owners within the district and adjacent areas were afforded an opportunity to actively participate in creating the proposed design standards. The public process included 3 public meetings and 13 planning team meetings. Members of the planning team were also tasked with surveying each property and structure within the proposed district.

The first public meeting was held on February 23, 2011 and provided property owners, representatives from neighborhood associations and public entities, and other stakeholders the opportunity to learn more about the Neighborhood Conservation District program and planning process. The public was invited to participate in the planning process by serving as a member of the Planning Team. The Planning Team members worked closely with staff from the Planning & Community Development Department during a series of 13 meetings and workshops to formulate site and building design standards that would reflect the established character and development pattern of the neighborhood.

Administration

The proposed Westfort Neighborhood Conservation District (NCD-9) does not regulate uses, or require property owners to rehabilitate existing structures to conform to the new standards. Permitted uses are determined by the underlying base zoning of the property. The design standards are implemented during the permitting process. Staff will review all permit requests to determine compliance with the adopted standards. Upon completion of the permit review, a Certificate of Compliance is either issued or denied. If denied, the applicant may resubmit with the appropriate changes or appeal to the Board of Adjustment. Preliminary plan review services are available to applicants who wish to review compliance with the design standards before construction plans are finalized.

Conclusion

The proposed Westfort Neighborhood Conservation District will help ensure future development and building rehabilitation is compatible with surrounding structures and will serve to protect the character of the area from insensitive or incompatible development. The Westfort Neighborhood Conservation District includes site and building design standards that were developed through a public participation process and address site and building design elements including: building setbacks, driveway and sidewalk configurations, building materials, roof and pitch standards, window proportions, and additional design standards intended to promote the maintenance of the established neighborhood character. The administration of building reviews through permitting offers a predictable, objective review process for residents and developers.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject properties are located within the boundaries of the Westfort Alliance Neighborhood Plan. The proposed Westfort NCD is consistent with the following goals from the neighborhood plan: 1) preserve and enhance the residential character of the neighborhood while recognizing the diverse, multi-cultural nature of the residents and the architectural quality of the housing stock, and 2) promulgate land use and zoning policy for the plan area which both preserves the character of the neighborhood, promotes the economic development of the plan area and contiguous areas, and is consistent with City programs and goals.

2. Adverse Impacts on Neighboring Lands:

Denial of the zoning request could lead to future development that is out of character with the established neighborhood.

3. Suitability as Presently Zoned:

This zoning change request does not alter the underlying base zoning. The current base zoning does not provide design standards that will protect the unique character of the Westfort area.

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety, or welfare due to this request. The proposed design standards identified in the Westfort Neighborhood Conservation District document were developed through a year-long public participation process where all property owners within the district and adjacent areas were afforded an opportunity to actively participate in creating the proposed design standards. Staff supports this NCD as a revitalization tool that provides a more predictable course of development for both neighborhood property owners and the development community.

5. Public Policy:

The Westfort Alliance Neighborhood Plan was adopted in 1997 and updated in 2003. The Plan is a component of the City's Master Plan.

6. Size of Tract:

Varies

7. Other Factors:

None.



WESTFORT ALLIANCE
NEIGHBORHOOD

Neighborhood Conservation District



Westfort Alliance

DRAFT

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PLAN SUMMARY

In response to the City's 1997 Master Plan and the 1998 Community Revitalization Action Group (CRAG) Report, the concept of the Neighborhood Conservation District (NCD) was determined to be a proactive tool to use to address neighborhood sustainability through compatible infill construction and rehabilitation in unique areas of the city. Since the adoption of the NCD enabling ordinance and development of the NCD program, eight (8) NCDs have been designated by City Council: South Presa Street/ South St. Mary's Street (NCD-1), Alta Vista (NCD-2), Ingram Hills (NCD-3), Whispering Oaks (NCD-4), Beacon Hill (NCD-5), Mahncke Park (NCD-6), Jefferson (NCD-7), and Woodlawn Lake Area (NCD-8).

The Westfort Alliance neighborhood was selected for NCD designation after successfully petitioning the Planning and Community Development Department. The interest to create a conservation district for the Westfort Alliance neighborhood stems from renewed public and private interests to develop in and around the River North and Broadway corridor areas. At the center of an area in transition, the neighborhood pro-actively petitioned for this designation to protect and preserve the current housing stock and established neighborhood character. This document provides design standards for new development and rehabilitative projects, and serves to identify significant neighborhood characteristics that are reflected in the design standards. Each property within the NCD area has been surveyed in order to capture the character defining features of the housing stock, building arrangement, streetscape configuration, and the collective form of the neighborhood.

There are approximately 160 parcels within the 80-acre neighborhood boundary. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The Westfort Alliance NCD meets the ordinance requirement with 84% of the land area containing structures that are at least 25 years old and presently improved. According to Bexar County Appraisal data, 82% of the Westfort neighborhood structures were built prior to 1960.

Various styles of 1-story and 2-story Craftsman architecture are prevalent throughout the neighborhood. In addition, a mixture of pre and post-World War II modern, Classical Revival, Queen Anne, Craftsman Bungalow, and Cottage style homes contribute to the diverse architectural character of the area. While the architecture is an important feature, the design standards found in this document do not intend to enforce architectural style, but are crafted to perpetuate historical arrangements of buildings, scale, massing of building volumes, celebrate the original character of buildings, de-emphasize and conceal spaces designed for the automobile, increase the amount and quality of spaces designed for interaction between neighbors and preserve the visual appeal of the entire area. Design standards are not intended to make improvements or development more costly.

The completion of the designation process brings to fruition the neighborhood's vision of protecting and preserving the unique character of the Westfort neighborhood. This designation meets the intent and upholds the spirit of the Neighborhood Conservation District Program.

***Civic buildings and religious sanctuaries are exempt from the design standards of this document.

ACKNOWLEDGEMENTS

WESTFORT ALLIANCE PLANNING TEAM

Meggan Partain, President Westfort Alliance
 Dean Carsello
 Jeanette Carsello
 Ed Cross
 Dr. Jay Wise
 Claire Hargrove
 John Herold
 Connie Michel
 Emory Michel
 Annalisa Peace
 Gilbert Piette
 Marilyn Piette
 Dale Savage
 Charles Stallcup
 Denise Stallcup
 Mark Sullivan
 Nancy Terry
 Linda Van Dyke
 Victor Van Dyke
 David Zawlocki

WESTFORT ALLIANCE NCD CONTRIBUTORS

District 2 Council Office
 Lion's Field Community Center

CITY OFFICIALS

Mayor

Julián Castro

City Council

Diego M. Bernal, *District 1*
 Ivy R. Taylor, *District 2*
 Jennifer V. Ramos, *District 3*
 Rey Saldaña, *District 4*
 David Medina, Jr., *District 5*
 Ray Lopez, *District 6*
 Cris Medina, *District 7*
 W. Reed Williams, *District 8*
 Elisa Chan, *District 9*
 Carlton Soules, *District 10*

Zoning Commission

Bill J. Tiller, Chairman
 Marianna Ornelas
 Andrew Anguiano
 Orlando Salazar
 Christopher R. Martinez
 David Christian
 Rick McNealy
 Milton R. McFarland
 Brenna Nava

**Planning & Community
 Development Department**

David L. Ellison, Interim Director
 Christopher J. Looney, AICP, Interim Assistant
 Director

 Andrea Gilles, Planning Manager
 Michael Taylor, AICP, Sr. Management Analyst
 Gary Edenburn, Project Planner
 John Osten, Senior Planner
 Rebecca Paskos, AICP, Senior Planner
 Robert Acosta, Planner
 Tyler Sorrells, AICP, Planner

WESTFORT NEIGHBORHOOD AERIAL



NCD 9

PROJECT PERMITTING AND REVIEW PROCESS

The **Westfort Alliance Neighborhood Conservation District (NCD)** design standards apply to new construction projects and to improvements or renovations to existing structures where the work may or may not require a building permit and is specifically governed by the NCD design standards. In the case of ordinary repair and maintenance, existing non-compliant structures or conditions shall not be required to conform to the design standards, although any modification shall not increase the non-conforming condition.

NEW CONSTRUCTION

Although the **Westfort Alliance neighborhood** is an established, developed area, there may be opportunities for development of vacant lots and demolition of structures for new construction. Applicants are advised to consult the design standards found in this document for guidance to specific projects. City staff will review all permit applications requests to ensure compliance with these standards prior to the issuance of any permit. This review process does not increase the normal review period. For some projects the permit request may be reviewed and issued at the time of submittal. The Neighborhood Conservation District staff will work diligently with applicants to ensure a timely and thorough review.

To facilitate the NCD permitting review process, at a minimum, submitted building plans for new construction shall include the following: ¹

Site Plan drawn to scale

- Location and dimensions of building footprint(s) for all structures, existing and proposed
- Location and dimensions for all sidewalks, existing and proposed
- Location, dimensions, and materials for all fencing, existing and proposed
- Driveway and curb cut location/ dimensions, existing and proposed
- Garage and/ or Carport (if any) location/ dimensions
- Location and dimensions of all HVAC equipment
- Calculation of front façade area, including all fenestrations (doors, windows, openings)
- **Front elevations** (and side elevations, if a corner lot)
- **Front porch detail**
- **Building materials**
- **Roof pitch and materials**
- **Front window proportions/ type of windows**
- **Front setback of adjacent properties**

¹ For clarification, NCD staff may request additional information including drawings, photos, illustrations, and/or dimensions in order to demonstrate compliance with the Westfort Alliance NCD design standards.

REMODELS / REHABILITATIONS / ADDITIONS

Building permits are required for most home rehabilitation projects. In order to accurately determine if a permit request meets the **Westfort Alliance** NCD design standards, a permit application must demonstrate compliance with the NCD standards. To facilitate a timely permit review process, a permit application must include detailed project information that may include photographs, drawings, sketches, written narrative, and/or dimensions. Additionally, an applicant may be required to submit a site plan showing the dimension and location of the proposed remodel or rehabilitation project. The NCD review staff may require additional information to better understand the scope of work and to ensure that the permit will meet the residential design standards of the Westfort Alliance NCD. ²

The most frequently requested permits for rehabilitation, remodels, and additions include:

- **Siding or Façade Modification**
- **Room Addition**
- **Change/ Replace Windows**
- **Enclose or Partially Enclose Front Porch**
- **New or Replacement Fencing**

² *Additional information may be required in order to demonstrate compliance with the Westfort Alliance Neighborhood Conservation District design standards.*



Building permits can be obtained at the City of San Antonio's Cliff Morton Development and Business Services Center, located at 1901 S. Alamo.

NCD Design Standards

The Westfort Alliance Neighborhood Conservation District (NCD) design standards are divided into three sections. Section 1 includes site design standards, excluding any structure or building component. Section 2 provides the structural and building design standards, and Section 3 covers multi-family design standards for developments greater than four units.

Although the NCD boundary includes commercial properties on a portion of the east side of Broadway, these **design standards apply only to residential and multi-family structures**. Each design standard section is explained with a brief intent paragraph and supported with graphical references, illustrations, and images.

1. Site Design Standards

Site design standards address lot size, lot coverage, building setbacks, impervious cover (driveways and sidewalks), fencing, utilities, and other non-building or non-structural features. Collectively, these items influence the form, layout, and placement of buildings and other structures. These standards contribute to the overall character of the Westfort Alliance Neighborhood.

1.1 Lot Size and Coverage

It is the desire of the neighborhood to maintain the scale and form of the existing streetscape. Although a variety of lot sizes exist throughout the Westfort neighborhood, the intent of managing lot size and coverage is to provide appropriate lot configurations within existing conditions. For new development, including potentially large-scale redevelopment, the lot size and coverage design standards are intended to guide developers in creating an appropriately scaled lot layout by respecting the existing neighborhood form and lot arrangement.

Combining Lots/ Lot assemblage

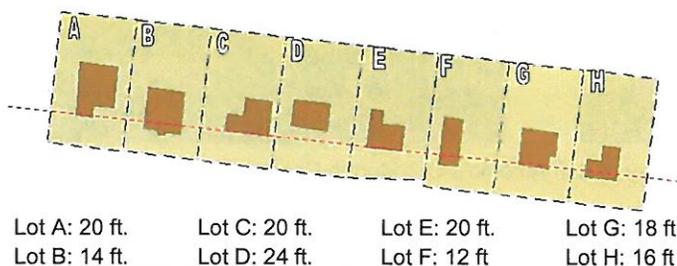
1.1.1 The lot size of any re-platted residential parcel shall not be increased or decreased by 20% or more of the total lot size.

Common Lot Lines

1.1.2 Structures built over a common lot line are not permitted.

Building Setbacks

1.1.3 The front building setback shall be within five feet (5' - 0") of the median block setback. For newly developed areas for which no comparable block setback is available, the minimum setback shall be 20 feet from the property line.



To calculate the median block setback, arrange the setbacks in order:
12, 14, 16, 18, 20, 20, 24

$$(18 + 20) / 2 = 19 \text{ (+/- 5 ft)}$$

For new construction, the setback in this example shall be between 14 and 24 feet.

1.2 Walkways

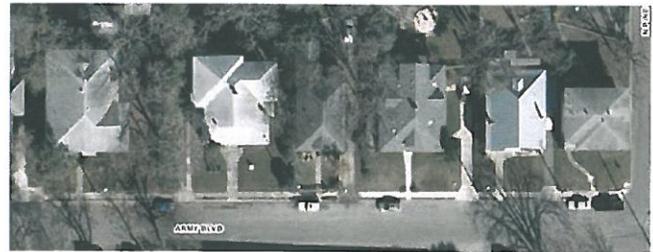
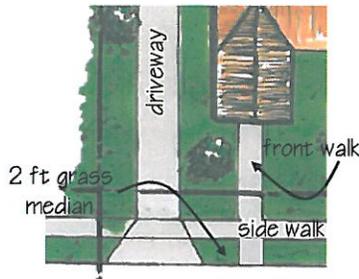
The Westfort neighborhood streetscape character is greatly influenced by sidewalks. Eighty four percent of the Westfort Neighborhood parcels include a front walk. Side and front walks promote pedestrian activity by providing accessible paths throughout the neighborhood. The configuration, form, and layout of these walkways are a significant character defining neighborhood feature. The standards for paving and hardscape covering are intended to preserve this arrangement.

Front Walks

- 1.2.1 A front walk shall be constructed from the front porch of the primary dwelling structure to the front street or public sidewalk. The front walk shall be between three feet (3' - 0") and four feet (4' - 0") in width and may be constructed of concrete, stone pavers, or crushed granite. The front walk may flare from the front porch at an angle of 45 degrees or less, and shall be no wider than six feet (6' - 0") at the widest point of the flare. There shall be a four foot (4' - 0") minimum grass or similar separation between the front walk and driveway. The front walk shall extend to the street or curb, within the public right-of-way, and shall match any adjacent or connecting side walk material.



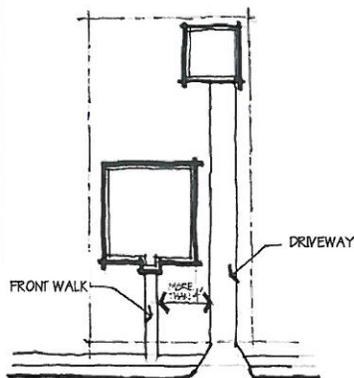
Front Walk Flare



Typical neighborhood sidewalk configuration (Army Blvd)

Side Walks

- 1.2.2 A maximum of a three foot (3' - 0") wide side walk may be constructed to connect the front walk to the driveway. This connecting walk shall be placed no greater than six feet (6' - 0") from the front facade of the primary structure.



- 1.2.3 Side walks parallel to the front property line shall match and connect to adjacent side walks. For new development, including City initiated side walk projects, front side walks shall be separated from the curb or street by a grassy median of not less than two feet (2' - 0") in width. The existing side walk configuration within established areas of the Westfort neighborhood shall be maintained, unaltered, and preserved.

Materials

- 1.2.4 Asphalt, fabricated turf, and/or similar materials are not permitted.



A vegetative separation between the front walk and driveway discourages massing of impervious front yard covering.



A front walk extends from the front porch to the street and runs parallel to the driveway.



1.3 Impervious Cover and Driveway Configuration

The mature tree-lined streetscape and greenspace is a dominant character defining feature of the Westfort neighborhood. The greenspace collectively provided by each property creates a desirable and visually attractive streetscape.

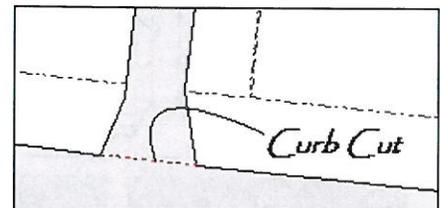
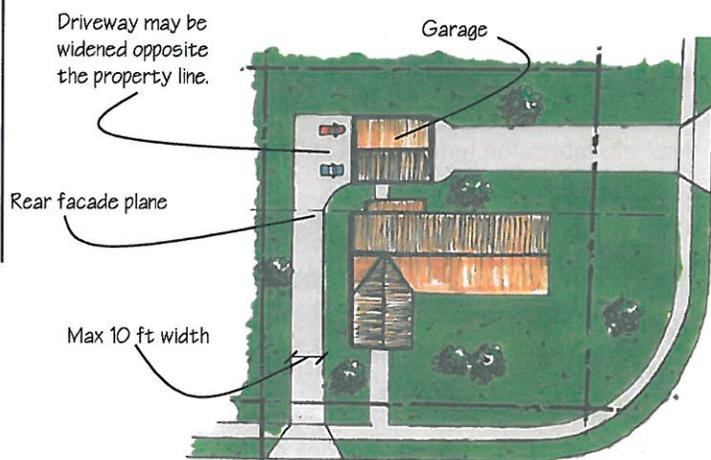
The importance of driveway configuration standards is to minimize the amount of impervious cover, preserve the original streetscape development pattern of the neighborhood, and maintain the character and charm of the streetscape. Sixty four percent of the neighborhood parcels include single width driveways. Additionally, 16% include no primary street driveway. These properties rely on an alley easement for vehicular ingress/ egress. It is the desire of the Westfort Neighborhood to maintain this parking arrangement and to minimize the impervious cover footprint of the streetscape.

Driveways

- 1.3.1 The existing parking arrangement, driveways, curb cuts, and streetscape configuration shall be preserved and maintained. Properties without front driveways shall maintain the current form and parking arrangement (e.g., alley access) New or additional driveways in established residential areas shall not be permitted.
- 1.3.2 Driveways located in the front and side yards shall maintain a maximum width of ten feet (10' - 0").
- 1.3.3 Driveways or parking pads shall not terminate at the front facade of any non-parking or garage structure.
- 1.3.4 Driveway curb flares shall not extend greater than one and a half feet (1' - 6") on each side of the driveway. Maximum width of the curb cut is thirteen feet (13' - 0").
[10' + 1'-6" + 1'-6"]
- 1.3.5 A minimum distance of four feet (4' - 0") is required between curb cuts.
- 1.3.6 Circular driveways shall not be permitted.

Materials

- 1.3.7 Driveways shall be engineered and constructed of concrete, solid or pervious pavers, or other solid material. Asphalt is not a permitted material. Driveway "runway ribbons" are permitted in lieu of solid surfaces.



The widest portion of the driveway, flared from the driveway to accommodate ingress and egress of the automobile.



Widening a driveway increases impervious cover and may significantly alter the streetscape character.



An appropriate driveway configuration locates the automobile to the side of the primary dwelling structure. Terminating a front driveway or placing a parking pad at any non-parking structure is prohibited.

1.4 Landscape

Landscaping is a primary character component of the Westfort streetscape. Establishing the overall site character of the individual property, landscaping also helps unify the fabric of the neighborhood by creating interesting and inviting pedestrian routes, streetscapes, and the overall aesthetic sense of place. It is the goal of the Westfort neighborhood to protect and preserve this important character defining feature.

1.4.1 The provisions of the UDC 35-523 shall be upheld as minimum landscaping standards for all new projects.

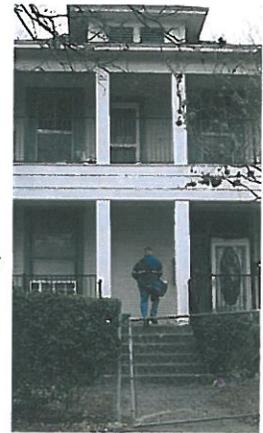
1.4.2 In addition to the standards noted in UDC Section 35-523, a tree survey (noting tree species and size) is required for all new construction or rehabilitation (if enlarging building footprint), noting location, canopy and caliper of all trees 6" DBH and over. If the proposed area of a new construction necessitates the removal of any significant, heritage and Historic trees that are more than 20" DBH, an alternative site plan review will be required. This site plan review, conducted by the City Arborist, will determine and offer suggestions for alternative building areas, and/or satisfaction of mitigation requirements. Significant Heritage and Historic Trees shall not be removed unless no other site plan alternative is feasible.



1.5 Fencing, Mailboxes, and Utilities

Ninety percent of Westfort Alliance mailboxes are attached to the primary structure. The absence of free-standing mailboxes improves the streetscape by allowing additional landscaping and unobstructed sidewalks. Fencing and utility boxes also influence the overall neighborhood streetscape experience. Front yard fencing is not common in the Westfort neighborhood. Seventy five percent of the properties exhibit open, non-fenced front yards. About fifteen percent of front yards contain four foot picket or wrought iron fences. Chain link fencing is present in only ten percent of neighborhood front yards.

It is the desire of the neighborhood to manage this character defining streetscape feature with design standards intended to promote the established streetscape.



Fencing

- 1.5.1 Front yard fence pickets shall be perpendicular to the ground, separated and unattached to adjacent pickets, and shall not vary from other pickets by more than two inches in width but may recede in width at the terminating end of the picket.



Fence and gate structures shall not be constructed over the driveway. (1.5.5)

- 1.5.2 New front yard fences and walls shall not include chain link, chicken wire, barbed wire, cinder block, brick, or similar materials. Stucco is a permitted material or base if it matches the existing or proposed primary structure.

- 1.5.3 Maximum height of front yard fencing shall be no taller than forty eight inches (48") from the nearest grade. Fencing may consist of solid materials up to twelve inches (12") above grade, and shall maintain a fifty percent (50%) transparency ratio.

- 1.5.4 Front and side yard fencing shall be set back a minimum two feet (2' - 0") from the front side walk.

- 1.5.5 Fencing or gate structures are not permitted across the driveway at any point in the front yard.

- 1.5.6 Side yard fencing shall be recessed at least five feet (5' - 0") behind the plane of the front façade of the primary structure.



The height, material, and configuration of front yard fencing significantly contributes to the streetscape of a neighborhood. The absence of fencing can also be a character defining feature.

- 1.5.7 Side fencing on corner lots shall be set back a minimum of seven feet (7' - 0") from the curb.
- 1.5.8 Residential properties abutting commercial properties are exempt from the NCD side yard fencing standards.

Utilities

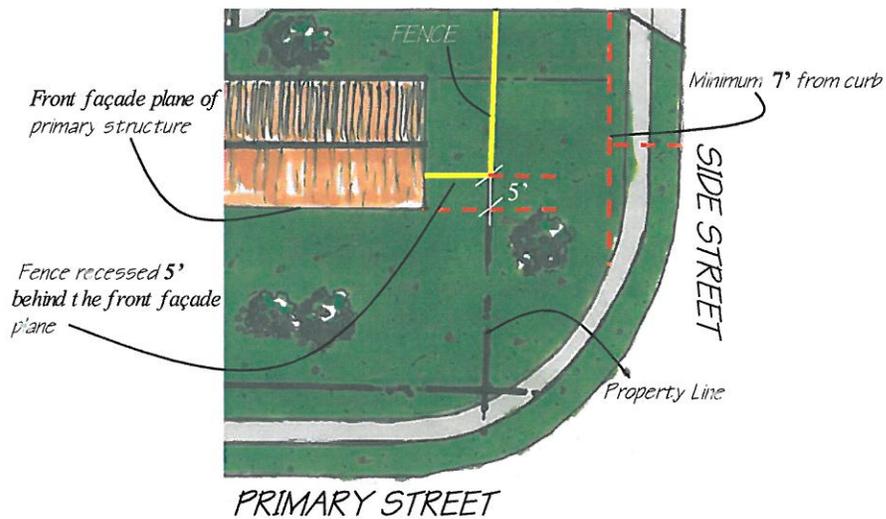
- 1.5.9 All utility boxes, both public and private, HVAC equipment, and similar utility boxes and cabinets shall be screened from view from the primary street through the construction of solid walls matching primary building materials of the primary structure, or evergreen and berm plantings.
- 1.5.10 New residential construction shall provide a designated screened pad area for the placement and storage of refuse and recycling bins and similar containers.



Exposed front yard utility boxes can negatively impact streetscape character. In the Westfort neighborhood, screening is required for these structures.

Lighting

- 1.5.12 Outdoor lighting fixtures shall be full cut-off fixtures and shall be shielded as to provide for directional lighting, minimizing light trespass on adjacent properties and the sky.



Side yard fencing shall be recessed at least seven feet from the side street curb. In most cases, the property line will extend greater than the minimum seven foot distance requirement.

2. Residential Building and Structure Design Standards

Structural design standards are intended to preserve and promote the established character of the neighborhood. Massing, building height, garage location, building materials, window proportions, and standards for other structurally significant features are identified in this section of the document. The intent is to protect the form and character of the neighborhood with standards that promote compatible development.

2.1 Building Height

The building height for homes and accessory structures throughout the Westfort neighborhood vary between one and two story. One story homes make up fifty five percent of the neighborhood, while two story homes comprise thirty six percent. The variation is found throughout the neighborhood and is not dominant within a specific block or street. Recognizing this, it is appropriate to encourage this configuration. Relying on the base zoning of the property to determine the height of the primary structure is sufficient for determining building height. However, height standards for secondary structures are provided to manage the scale of structures on a lot, and to ensure accessory and secondary structures are subordinate to the primary or principal dwelling.

Primary Structure

2.1.1 The maximum height of the primary structure shall be determined by the base zoning of the property and the provisions of the Unified Development Code.

Secondary Structure

2.1.2 The height of the secondary or subordinate structure shall not exceed the height of the primary structure.



In many neighborhoods, homes of similar height are clustered along a street or block face. In Westfort, height variation contributes to the charm and character of the neighborhood character.

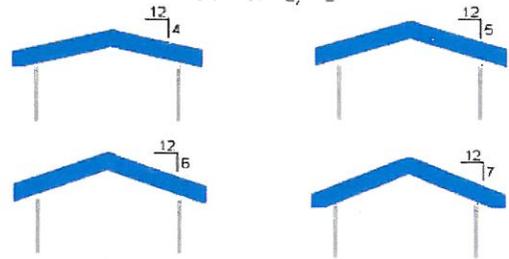


2.2 Roofing

The roof is an important character defining feature of the structure and contributes to the overall character of the neighborhood. The Westfort neighborhood has a variety of roof styles, roof pitches, and roof accents. However, fifty two percent of the neighborhood exhibit a moderate roof pitch. A moderate pitch is between 4:12 and 7:12. Roof design standards consider this variation, while discouraging incompatible designs that may be incompatible to the overall character of the neighborhood.



In some instances, the roof design and pitch can dominate the character of a structure.



The illustration shows variations of a moderate roof pitch. A moderate pitch has a shallow slope.

Roof Pitch

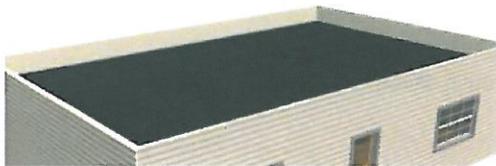
2.2.1 The maximum roof pitch for all new construction shall be between 6:12 and 12:12. Flat roofs are acceptable, but shall have a minimum parapet extending at least 6" above the roof line.



Moderate roof pitch



A 12:12 roof pitch



A flat roof showing the extension of a parapet



Flat roofs are often accented with a parapet

2.2.2 Roofs for additions, renovations, and accessory structures shall match the pitch, configuration (e.g. gable, hip or flat) and style (e.g. open eaves) of the existing structure.

2.2 Roofing (cont'd)

Materials

2.2.3 Corrugated metal roof material shall not be permitted.

Roof Structures

2.2.4 Solar panels, skylights, solar tubes, and similar roof structures shall match and blend with the character and profile of the existing roof or structure. For solar panels, the use of non-reflective solar shingles and/or similarly discreet materials shall be used.



Non reflective solar panels

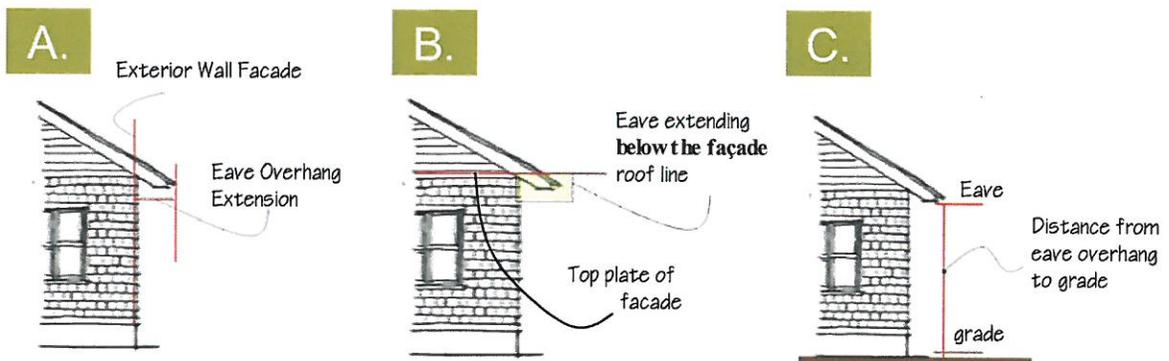
2.2.5 Chimneys shall include a masonry exterior finish.

Eaves and Overhangs

2.2.6 There shall be a minimum eave overhang extension of at least one foot and six inches (1' - 6"), and a maximum eave extension of three feet (3' - 0") beyond the principal façade. (See diagram A. below)

2.2.7 The eave overhang shall not extend more than three feet (3' - 0") below the top plate of the principal façade. (See diagram B. below)

2.2.8 The roof overhang shall be a minimum distance of nine feet (9' - 0") from the bottom of the foundation. (See diagram C. below)



The illustrations above provide examples for determining and measuring the eave overhang. The design and style of roof eave dimensions helps compliment the desired roof orientation, scale and proportion of the roof pitch.

2.3 Principal Elevation Features

Principal elevation features include details such as dominant building materials, windows and door openings, window proportions, and architectural design features. Collectively, these features contribute substantially to the character of the structure and the Westfort Neighborhood. Elevation design standards are intended to strengthen, preserve, and promote the maintenance of these character defining elements.

Façade Materials

Replacement Façade Materials

2.3.1 Replacement siding materials shall match in form and placement of the original siding material. Acceptable materials include hardi-plank, stucco, brick, stone, and wood.

Prohibited Materials

2.3.2 Prohibited building materials include vinyl or similar siding, oriented strand board (OSB), metal, aluminum or similar reflective or translucent material.

Façade Design Features

2.3.3 Existing front façade architectural design features and elements visible from the public right of way shall be maintained and preserved. These features include dormers, exposed decorative beams, corbels, architectural pediments, and similar design elements.



Exposed roof beams, corbels, awnings, and other architecturally significant features contribute to the diverse style and character of the Westfort neighborhood housing stock.

Ramps and ADA Structures

2.3.4 ADA ramps and similar accessibility structures shall be built parallel to the front wall of the structure, if feasible.

2.3.5 All ADA ramps and similar front yard structures shall be permitted.



Incompatible building materials used in renovations and additions can alter the integrity and character of the structure.

2.3 Principal Elevation Features (cont'd)

Windows and Fenestration

2.3.6 The front façade of the principal structure shall maintain a minimum fenestration (wall and door openings) of 25% and a maximum of 70%.

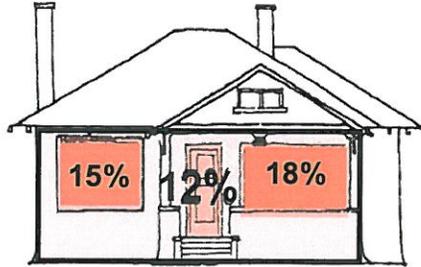


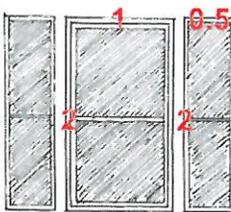
Illustration depicting a 45% front façade fenestration

2.3.7 Windows shall be vertical with a 2:1 ratio and shall have a one-over-one (1/1) opening division and may have multi-light panels.

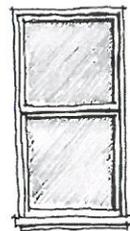
2.3.8 Window Grouping:

2.3.8.1 Individually framed windows may be grouped together in pairs, and shall be placed within 6". Additional windows (single or paired) shall have a minimum separation of two feet (2' - 0").

2.3.8.2 A window may contain two side "accent" windows that are no greater than fifty percent (50%) of the center window area. Side accent windows shall maintain a ratio of 2:0.5 or greater. Square accent windows are not permitted.



Individually framed side accent windows meeting the 50% requirement of 2.3.8.2.



1 over 1 light division



A grouped pair of windows.



The absence of windows and openings can alter the character of the front façade. Excessive openings can also influence the front façade character.

Window and Door Openings

2.3.9 Bay windows shall include a permanent foundation and framing.

Replacement Windows

2.3.10 Any replacement window shall match the existing window light division, proportion, and profile, or shall meet the new construction design standard for windows and fenestration.

Prohibited Windows and Window Materials

2.3.11 "Bubble" windows, aluminum mill finished windows, horizontal "sliders" or similar windows, sliding glass doors and similar patio doors are not permitted on the front façade of the primary dwelling and shall not be visible from the public right-of-way.

2.4 Parking Structures

Generally, garages and off-street parking areas within the Westfort neighborhood are concealed from street view, subordinate to the primary structure, and accessed through a rear alley. According to the neighborhood character survey, fifty-eight percent of the lots in the neighborhood do not have a garage or parking structure. Twenty-nine percent include a detached garage. Attached garages and carport structures are found on less than five percent of lots. The Westfort neighborhood streetscape clearly reflects this character, as driveway and parking arrangements are situated to the side or rear of the principal structure.

It is the desire of the neighborhood to protect this character defining feature by maintaining the existing parking arrangement, concealing future parking structures, and preserving the character of the established streetscape.

Garage Location and Carports

2.4.1 Garages and carports shall be located in the rear yard.

2.4.2 Attached garages are not permitted.

2.4.3 Carports shall not exceed ten feet (10' - 0") in height and shall be opened and unobstructed on at least three sides if visible from the public right-of-way.

2.4.4 Carports shall have a flat roof and maintain a low profile.

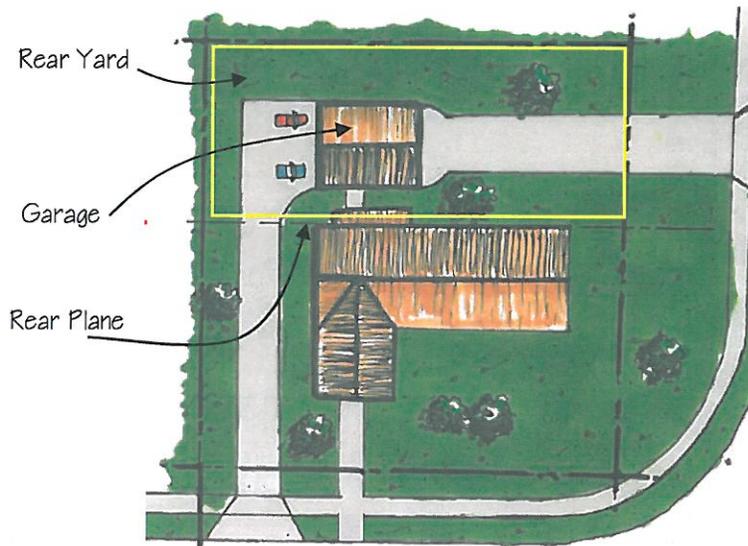


Illustration indicating the rear plane of the structure and rear yard of a property located on a corner lot.

As illustrated, corner lots may have an additional driveway with ingress/ egress to a rear yard parking structure.

2.5 Front Entry

The front entry to a building should be the focal point of the structure. The position and arrangement of the front door, the presence and configuration of a front porch, and the ingress-egress façade location contributes to the character of the structure. Seventy four percent of the Westfort neighborhood parcels include a front porch. This arrangement consists of attached (33%), full front configuration (22%), L-shaped (14%), and wrap-around (6%). The variety of front porch styles and configurations make a significant contribution to the neighborhood character. The design standards encourages the preservation of existing front porches and requires porches in new developments.

Front Entry

- 2.5.1 The front entry of the primary structure shall be on the first floor and shall be placed so that the dwelling is accessed from the primary street.
- 2.5.2 A front door shall be located on the front façade of the primary structure and shall be directly accessible from the front porch. The front porch shall be elevated no greater than one foot (1' - 0") above the floor or base of the front porch.
- 2.5.3 Fifty percent (50%) of the front façade width shall accommodate a covered front porch that shall be at least eight feet (8' - 0") in depth.
- 2.5.4 If the front porch does not share the same roof with the primary structure, the roof pitch, material, and form shall match that of the primary dwelling.
- 2.5.5 French doors visible from the public right of way shall contain multiple light divisions.

Porch Enclosures

- 2.5.6 Front porches may be enclosed with woven/ open wire mesh or screen material. Chicken wire, burglar bars, chain link, and similar materials are not permitted enclosure materials.
- 2.5.7 Front porch enclosures shall maintain eighty percent (80%) transparency. Glass, plexiglass, or similarly solid transparent materials are not permitted.

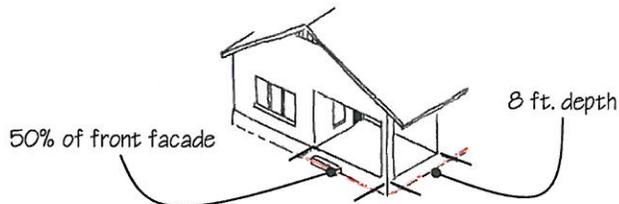


Illustration demonstrating an appropriate front porch configuration

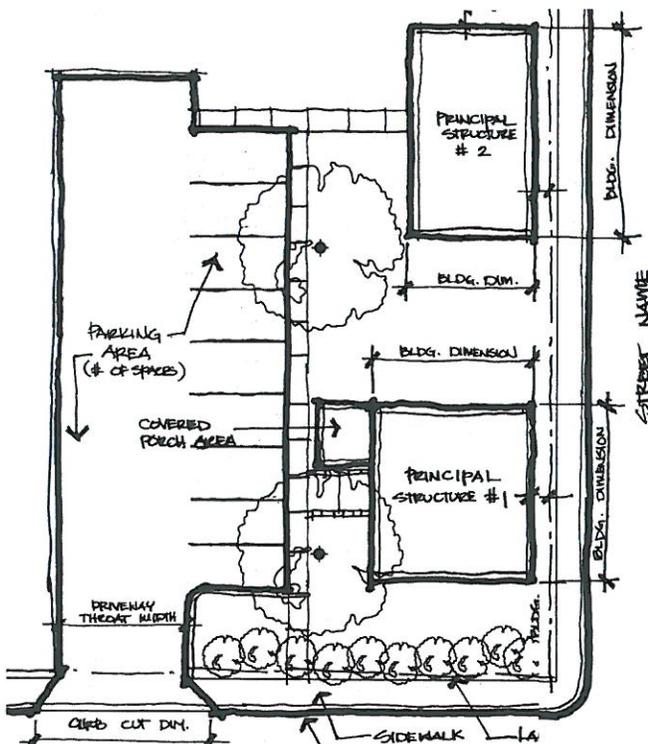
3 Multi-Family Design Standards

The Westfort neighborhood accommodates a variety of residential uses. Multi-family design standards are intended to provide standards for the appropriate site layout and building arrangement of multi-family structures with five or more units. These standards identify design features that will contribute to the Westfort neighborhood character by ensuring appropriate and compatible multi-family development. Design standards for multi-family do not intend to manage the use of the property, but rather the structural and physical layout of the development.

3.1 Site Design

3.1.1 Building Setback

3.1.1.1 The front building setback shall be within five feet (5' - 0") of the property line.



Site Plan shows appropriate parking location and building setback

3.1.2 Parking/ Loading

3.1.2.1 Off street parking shall be located to the rear of the primary structure and screened if otherwise visible from the public right-of-way.

3.1.2.2 Parking areas shall have a minimum setback of five feet (5' - 0") from the property line and shall be screened from adjacent properties. Appropriate parking area screening materials include the following:

- A. Berms/ landscaping with a mature height of at least five feet (5' - 0") at maturation.
- B. Privacy wood fence
- C. Rock or stone wall

3.1.3 Utilities and Refuse Containers

3.1.3.1 Utility placement such as boxes, lines, meters, and other service components shall be screened from the public right of way. Screening may include materials identified in section 3.1.2.1

3.1.3.2 Refuse Containers shall be entirely concealed by a solid wall matching the wall façade material and profile of the primary structure and a solid gate. Refuse containers shall be located away from the primary street frontage and to the rear of the principal structure.



A conforming refuse enclosure

3.1 Site Design (cont'd)

3.1.4 Walls and Fencing

3.1.4.1 The single family design standards for walls and fencing shall apply to multi-family properties. (see *Fencing*, page 14) .

3.1.4.2 Chain link, barbed wire, chicken wire, and similar materials are prohibited.

3.1.5 Signage

3.1.5.1 Pole signs and similar free-standing signs are not permitted.

3.1.5.2 Neon and similar signage is prohibited.

3.1.5.3 A monument sign shall not exceed twenty five square feet (25 s.f.) in area.

3.1.5.4 Temporary signs, banners, inflatable devices, and similar advertising devices are not permitted.

3.1.6 Driveways

3.1.6.1 Driveway curb cuts along the same block face shall maintain a fifty foot (50' - 0") separation.

3.2 Building Standards

3.2.1 Architectural and Materials

Articulation

3.2.1.1 New construction visible from the public right-of-way, shall incorporate at least four (4) of the following building elements:

- Awnings
- Pillars
- Canopies
- Alcoves
- Recessed entries
- Ornamental cornices
- Pillar posts

Primary Materials

3.2.1.2 The front façade and side façade if viewable from the public right-of-way shall be finished in a combination of the following materials:

- A. At least twenty five percent (25%) of the public facing façade area shall consist of one or more of the following materials:
 - 1. Brick, stone, cast stone, rock, non-polished stone or granite, tile, stucco, plaster, wood or hardi-plank.
- B. The remainder of the public facing façade area shall consist of any combination of building materials:
 - 1. Glass with less than twenty percent (20%) reflectance.
 - 2. Split-face concrete block, poured-in-place concrete, and tilt wall concrete. Any use of concrete products shall be textured or patterned. Tilt-wall concrete structures shall include reveals, punch-outs, or other similar surface characteristics to enhance the façade on at least 10% of each street-facing façade area.

3.2 Building Standards (cont'd)

Prohibited Materials

- 3.2.1.3 The following materials are prohibited:
- Oriented Strand Board (OSB)
 - Plastic/ fiberglass panels
 - Corrugated, ribbed, galvanized, aluminum coated, zinc-aluminum coated, or other untreated exterior metal finish
 - Metal panels
 - Unfired or under-fired clay, sand, or shale brick
 - Unfinished concrete masonry units (i.e. cinder block)
 - Smooth or undeterred concrete finishes
 - Mirrored glass with a reflectance greater than 20%
 - Vinyl siding
 - Glass block
 - Marble
 - Polished stone
 - Glass curtain wall consisting of fifty percent (50%) or more glass

Windows

- 3.2.1.3 The single family window design standards shall apply to multi-family structures. (see *Windows and Fenestration*, pages 20-21).

APPENDIX A

GLOSSARY OF TERMS

Appendix A

GLOSSARY

Accessory detached dwelling unit - A dwelling unit that is accessory, supplementary, and secondary to the principal dwelling that may be constructed as an addition to the principal structure or as an accessory to the principal structure. An accessory dwelling unit is detached from the principal dwelling.

Accessory dwelling - An accessory detached dwelling unit or an accessory apartment.
 Accessory dwelling standards - See § 35-371 of the UDC.

Accessory use or building - A subordinate use or building customarily incident to and located on the same lot with the main use or building. A completely new structure or new component to an existing structure.

Adjacent - Two (2) properties, lots or parcels are "adjacent" where they abut, or where they are nearby and are separated by a dissimilar type of manmade or geologic feature including but not limited to a Roadway or Street, Right-of-Way, or railroad line, or any stream, river, canal, lake, or other body of water. Adjacent may or may not imply contact but always implies absence of anything of the same kind in between.

Alley - A minor public right-of-way not intended to provide the primary means of access to the abutting lots, which is used for vehicular service access to the back or sides of properties otherwise abutting on a public street.

Alteration - (Generally, as applied to a building or structure): A change or rearrangement in the structural parts or an enlargement, whether by extending on a side or by increasing in height, or the moving from one (1) location or position to another.

Alteration - For purposes of Historic Preservation & Urban Design, Article 6, any construction or change of the exterior of a building, object, site, or structure, or of an interior space designated as a landmark. For buildings, objects, sites or structures, alteration shall include, but is not limited to, the changing of roofing or siding materials; changing, eliminating, or adding doors, door frames, windows, window frames, shutters, fences, railings, porches, balconies, signs, or other ornamentation; the changing of paint color; regrading; fill; imploding, or exploding, or other use of explosives or external forces. Alteration shall not include ordinary repair and maintenance.

Apartment - See Dwelling, multi-family.

Awnings – A roof-like cover, often of fabric, metal, or glass, designed and intended for protection from the weather or as a decorative embellishment, and which projects from a wall or roof of a structure over a window, walk, door, or the like.

Back/ Rear Yard – The area from the rear façade of the principal structure to the back (away from primary public right-of-way) property line.

Base zoning district - Any of the zoning districts established pursuant to § 35-303(a) of the UDC.

Block face - The properties abutting one (1) side of a street and laying between the two (2) nearest intersecting or intercepting streets, or nearest intersection or intercepting street and/or railroad right-of-way, undivided land, water course or city boundary.

Building - A structure designed, built or occupied as a shelter or roofed enclosure for persons, animals or property. For the purpose of this definition, "roof" shall include an awning or other similar coverings, whether or not permanent in nature. Without limiting the generality of the foregoing, the following shall be considered a "building": a house, barn, church, hotel, warehouse, or similar structure, or a historically related complex, such as a courthouse and jail or a house and barn.

Building Articulation – Refers to the many street frontage design elements both horizontal and vertical that help create a streetscape of interest. The appropriate scale of articulation is often a function of the size of the building and the adjacent public spaces including sidewalks, planting zones, and roadways.

Building elevation - The view of any building or other structure from any one of four sides showing features such as construction materials, design, height, dimensions, windows, doors, other architectural features, and the relationship of grade to floor level.

Building footprint - The horizontal area measured within the outside of the exterior walls of the ground floor of the main structure.

Building mass – See Mass.

Building setback line - See Setback line.

Carport - Space for the housing or storage of motor vehicles and enclosed on not more than two (2) sides by walls.

Civic buildings - Any type of public buildings including: offices, libraries, playgrounds, parks, assembly halls, police stations, fire stations.

Commercial property - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for other than residential use, i.e., for a single family, duplex, three or four family dwelling or greater for the purposes of this zoning overlay only.

Common lot line – a boundary of two adjacent parcels owned by the same person(s) or entity.

Construction - The act of adding an addition to an existing building or structure, or the erection of a new principal or accessory building or structure on a lot or property, or the addition of walks, driveways or parking lots, or the addition of appurtenances to a building or structure.

Courtyard - A space, open and unobstructed to the sky, located at or above grade level on a lot and bounded on three or more sides by the walls of a building.

Cross gabled – May have a combination of front and side gables on primary façade.

Cutoff angle - The angle formed by a line drawn from the direction of light rays at the light source and a line perpendicular to the ground from the light source, above which no light is emitted.

Demolition - The complete or partial removal of a structure from a site.

Detached structure - A structure having no party wall or common wall with another structure unless it is an accessory structure.

Development - Any man-made change in improved and unimproved real estate, including but not limited to buildings or other structures, mining, dredging, filling, grading, paving, excavation or, drilling operations or storage of equipment or materials.

District - A geographically definable area, urban or rural, possessing a significant concentration, linkage, or continuity of buildings, objects, sites, or structures united by past events or aesthetically by plan or physical development which may also comprise individual elements separated geographically but thematically linked by association or history.

Dormers – Rise up out of the roof and are often separate from the roof-to-wall junction. Dormers are classified by their roof shape (shed, hipped, gabled, flat, etc).

Driveway - Entrance to and exit from premises where it is possible to park completely off the street, and which is not open for vehicular traffic except by permission of the owner of such private property.

Driveway approach - A way or place including paving and curb returns between the street travel lanes and private property which provides vehicular access between the roadway and such private property.

Driveway, front-loaded - A driveway which begins at, or abuts, the front property line of a lot or parcel.

Duplex - See Dwelling two-family.

Dwelling, Single-Family Attached (Townhouse) - A building that has one-family dwelling units erected in a row as a single building on adjoining lots, each being separated from the adjoining unit or units by a fire wall (constructed in accordance with city codes and ordinances), along the dividing lot line, and each such building being separated from any other building by space on all sides. Each unit maintains a separate lot.

Dwelling, Single-Family Detached - A one-family dwelling that is not attached to any other dwelling by any means and is surrounded by open space or yards.

Dwelling, two-family (duplex) - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than two (2) families, each living as an independent housekeeping unit.

Dwelling, three-family (triplex) - A detached house (on a platted single lot) designed for and occupied exclusively as the residence of not more than three (3) families, each living as an independent housekeeping unit.

Dwelling, four-family (quadruplexes) - A detached house with common walls between the units, designed for and occupied exclusively as the residence of not more than four (4) families, each living as an independent housekeeping unit.

Dwelling, multi-family - A dwelling or group of dwellings on one (1) lot containing separate living units for five (5) or more families, but which may have joint services or facilities.

Dwelling unit - One (1) or more rooms providing complete living facilities for one (1) family, including kitchen facilities or equipment for cooking or provisions for the same, and including room or rooms for living, sleeping, bathing and eating.

Easement - A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation, or another person or entity.

EIFS – (Exterior Insulation and Finish Systems) provides exterior walls with as insulated finished surface, and waterproofing in an integrated composite material. EIFS is often referred to as “synthetic stucco.”

Façade - The exterior wall(s) of a building exposed to public view or that wall viewed by persons not within the building.

Façade Surface Area - the measure of the exposed area of front wall(s) calculated by geometric area formula of the shapes of those exposed wall(s).

Flat roof – Roof with no slope and may terminate with or without eaves. A parapet is often present, providing a small “wall” around the perimeter of the roof line.

Fenestration - The sum of windows, doors, and other openings of a building or façade.

Floor area - The sum of the gross horizontal areas of all floors of a structure, including interior balconies and mezzanines, measured from the exterior face of exterior walls, or from the centerline of a wall separating two (2) structures. The floor area shall include the area of roofed porches having more than one (1) wall and of accessory structures on the same lot. Stairwells and elevator shafts shall be excluded.

Floor Space Index (FSI) - Floor Space Index (FSI) determines the ratio of total living space allowed on a lot or parcel relative to the size of the lot or parcel.

Front gabled – The peak or gable faces the front façade.

Front yard – The area from the front façade of the principal structure to the street or public right-of-way.

Frontage - The frontage of a parcel of land or building is that distance where a property line is common with a street right-of-way line.

Garage, private - A building or part thereof accessory to a main building and providing for the storage of automobiles and in which no occupation or business for profit is carried on, enclosed on all four (4) sides, and pierced only by windows and customary doors.

Glare - The sensation produced by luminance within the visual field that is sufficiently greater than the luminance to which the eyes are adapted to cause annoyance, discomfort, or loss in visual performance and visibility.

Glazing - the clear translucent material through which light can pass into a building through an opening in a building's exterior wall (usually a door or window), typically glass but can be made of other similar materials.

Green space - Land shown on an urban corridor site plan which may be improved or maintained in a natural state and which is reserved for preservation, recreation, or landscaping.

Half story - An uppermost story usually lighted by dormer windows, in which a sloping roof replaces the upper part of the front wall, and habitable areas on the uppermost story do not exceed a floor area derived by multiplying the floor area of the ground floor by fifty percent (50%).

Height, building - The vertical dimension measured from the average elevation of the finished lot grade at the front of the building to the highest point of ceiling of the top story in the case of a flat roof; to the decline of a mansard roof; and to the average height between the plate and ridge of a gable, hip or gambrel roof.

Impervious cover - Roads, parking areas, buildings, pools, patios, sheds, driveways, private sidewalks, and other impermeable construction covering the natural land surface; this shall include, but not [be] limited to, all streets and pavement within the subdivision.

Infill – Development occurs on vacant or underused lots in otherwise built-up sites or areas. Infill projects can take several forms, such as a small addition in a residential backyard, or a single or multi-parcel development.

Percent impervious cover is calculated as the area of impervious cover within a lot, tract, or parcel or within the total site being developed, divided by the total area within the perimeter of such lot, tract, parcel or development. Vegetated water quality basins, vegetated swales, other vegetated conveyances for overland drainage, and public sidewalks shall not be calculated as impervious cover.

Porch – A roofed area, which may be screened, attached to or part of and with direct access to or from a structure and usually located on the front side of the structure, not to extend 50% of the front façade.

Land use category - A classification of uses as set forth in the use matrix (see key to use matrix for rules of interpretation)

Landscaping - The process or product of site development including grading, installation of plant materials and seeding of turf or ground cover.

Lot - A designated parcel or area of land established by plat to be used, developed, or built upon as a unit.

Lot, corner - A lot or parcel of land abutting upon two (2) or more streets at their intersection, or upon two (2) parts of the same street forming an interior angle of less than one hundred thirty-five (135) degrees.

Lot depth - The mean horizontal distance between the front and rear lot lines.

Lot design standards - See § 35-515 of the UDC.

Lot, reversed corner - A corner lot, the rear of which abuts upon the side of another lot whether across an alley or not.

Lot width - The width of a lot at the front setback line.

Lumens – A unit used to measure the actual amount of visible light which is produced by a lamp as specified by the manufacturer. A unit of measure of the quantity of light that falls on an area of one square foot every point of which is one foot from the source of one candela. A light source of one candela emits a total of 12.57 lumens.

Manufactured home or manufactured housing - A HUD-code manufactured home. For purposes of the floodplain ordinance, a “manufactured home” means a structure transportable in one or more sections, which is built on a permanent chassis and is designed for use with or without a permanent foundation when connected to the required utilities. The term “manufactured home” does not include a “recreational vehicle”.

Mass - The size, height, symmetry and overall proportion of a structure in relation to the original style and/or to surrounding structures.

Monument sign – A freestanding sign supported primarily by an internal framework or integrated into landscaping or other solid structural features other than support poles.

New construction - For the purpose of determining insurance rates, structures for which the “start of construction” commenced on or after the effective date of an initial FIRM or after December 31, 1974, whichever is later, and includes any subsequent improvements to such structures. For floodplain management purposes, “new construction” means structures for which the “start of construction” commenced on or after the effective date of a floodplain management regulation adopted by a community and includes any subsequent improvements to such structures.

New development - Any new demand which increases the number of equivalent dwelling units including, but not limited to, the subdivision and/or resubdivision of land; the construction, reconstruction, redevelopment, conversion, structural alteration, relocation, or enlargement of any structure; or any use or extension of the use of land, any of which increases the number of equivalent dwelling units.

Nonconforming structure - Any existing structure which was erected according to all applicable city ordinances at the time, but which does not now comply with all the regulations applicable to the district in which the structure is located.

Ordinary repair and maintenance - Any work, the purpose and effect of which is to correct any deterioration or decay of or damage to a building, object or structure or any part thereof and to restore the same, as nearly as may be practicable, to its condition prior to such deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.

Ornamental cornices - A horizontal molded projection that crowns or completes a building or wall.

Overlay district - A zoning district established by this chapter prescribing regulations to be applied to a site in combination with a base zoning district.

Permit - A license, certificate, approval, registration, consent, permit, or other form of authorization required by law, rule, regulation, order, or ordinance that a person must obtain to perform an action or initiate, continue, or complete a project for which the permit is sought. (Source: VTCA Local Government Code § 245.001). A “development permit” includes any of the following: a subdivision plat, a conditional use permit, a building permit, or a certificate of occupancy. A “development permit” does not include a certification of completeness, a letter of certification, an amendment to the text of this chapter, or a rezoning. A determination of property status, including but not limited to, utility availability, zoning, rights under Article VII of this chapter, etc., is not a permit.

Permit rights - The right of a property owner or developer to complete a project under the rules, regulations and ordinances in effect at the time the project was initiated through a permit as herein defined. When permit rights exist for property within the boundaries of a project, ordinances passed after the date the project is initiated shall not apply to the project except as specifically provided within this section.

Pervious pavement - A pavement system with traditional strength characteristics, but which allows rainfall to percolate through it rather than running off. A permeable pavement system utilizes either porous asphalt, pervious concrete, or plastic pavers interlaid in a running bond pattern and either pinned or interlocked in place. Porous asphalt consists of an open graded course aggregate held together by asphalt with sufficient interconnected voids to provide a high rate of permeability. Pervious concrete is a discontinuous mixture of Portland cement, coarse aggregate, admixtures, and water which allow for passage of runoff and air.

Pitch - The slope of a roof as determined by the vertical rise in inches for every horizontal twelve inch (12”) length (called the “run”). Pitch is expressed with the rise mentioned first and the run mentioned second. For instance, a roof with a four inch (4”) rise for every horizontal foot has a 4:12 pitch.

Pedestrian walkway – Any sidewalk or walkway that is intended and suitable for pedestrian use. Any paved public or private route intended for pedestrian use, including a bicycle/ pedestrian path regardless of use by other transportation.

Porch - A roofed area, which may be glazed or screened, attached to or part of and with direct access to or from a structure and usually located on the front or side of the structure.

Principal building or principal structure - A building or structure or, where the context so indicates, a group of buildings or structures, in which the principal use of a lot or parcel is conducted. This shall include any buildings which are attached to the principal structure by a covered structure.

Principal dwelling - A dwelling unit which constitutes the principal building or principal structure on a lot or parcel.

Principal elevation – The primary front façade area of the main structure; usually fronting or facing the public right-of-way (ROW).

Principal structure - See Principal building or principal structure.

Property owner - The person, entity, corporation, or partnership in whose name a certificate of occupancy issued, or the current owner of the property if a certificate of occupancy is no longer valid, or, if the current owner cannot be contacted after due diligence, the lessee/occupant of the property who is in apparent control of such property.

Proportion: The relationship of the size, shape, and location of a building element to all the other building elements.

Proposed development - The uses, structures, buildings, and/or other development proposed by an application for development approval.

Public right-of-way - A strip of land acquired by reservation, dedication, forced dedication, prescription, or condemnation and used or intended to be used, wholly or in part, as a public street, alley, walkway, drain or public utility line.

Public right-of-way (2) - An area or strip of land, either public or private, occupied or intended to be occupied by a street, walkway, railroad, utility line, drainage channel, or other similar uses.

Quadruplexes - See Dwelling four-family.

Reconstruction - The act or process of reassembling, reproducing, or replacing by new construction, the form, detail, and appearance of property and its setting as it appeared at a particular period of time by means of the removal of later work, or by the replacement of missing earlier work, or by reuse of original materials.

Rehabilitation - The act or process of returning a building, object, site, or structure to a state of utility through repair, remodeling, or alteration that makes possible an efficient contemporary use while preserving those portions or features of the building, object, site, or structure that are significant to its historical, architectural, and cultural values.

Relocation - Any change of the location of a building, object or structure in its present setting or to another setting.

Residential development - All areas zoned as "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40" or "MF-50", or otherwise zoned or devoted primarily to residential use, and shall include all other areas not zoned or used primarily for commercial or industrial use.

Residential district or residential zoning district - Any of the following zoning districts: "R-3", "R-4", "R-5", "R-6", "R-20", "RE", "RM-4", "RM-5", "RM-6", "MF-18", "MF-25", "MF-33", "MF-40" or "MF-50".

Residential driveway approach - A driveway which provides access to property on which a single-family residence, duplex, or multifamily building containing five or fewer dwelling units is located.

Residential property - A building, site, or structure whose use after rehabilitation or restoration (for ad valorem tax exemption) will be for residential uses, i.e., for single family, duplex, three, or four family dwelling or more dwellings for the purposes of this zoning overlay plan only.

Residential streets - Street routes that provide access to local property owners and which connect property to the major thoroughfare or other collector street networks.

Residential structure - A single-family home, apartment house, townhouse, condominium or any type of dwelling unit.

Right-of-way - Property that is publicly owned or upon which a governmental entity has an express or implied property interest (e.g. fee title, easement, etc.) held for a public purpose. Examples of such public purpose include, by way of example and not limitation, a highway, a street, sidewalks, drainage facilities, sewerage and water facilities.

Screen - Vegetation, fence, wall, berm or a combination of any or all of these which partially or completely blocks the view of and provides spatial separation of a portion or all of a site from an adjacent property or right-of-way.

Setback - A line within a lot parallel to and measured from a corresponding lot line, establishing the minimum required yard and governing the placement of structures and uses on the lot.

Side gabled – locates the front door on the non-gabled façade.

Side yard - An area extending the depth of a lot from the front yard to the rear yard between the side lot line and the nearest principal structure.

Sidewalk - The portion of a municipal street between the curb lines or lateral lines of a roadway and the adjacent property lines that is improved and designed for or is ordinarily used for pedestrian travel. [Source: VTCA Transportation Code § 316.001]

Single-family dwelling - See Dwelling, one-family.

Single-family residential development - A development consisting of a lot or lots, containing only one dwelling unit. The dwelling unit may be detached or attached, townhouse, small lot, home, manufactured home, or mobile home.

Site - The location of a significant event, a prehistoric or historic occupation or activity, or a building, structure, or cluster, whether standing, ruined, or vanished, where the location itself maintains historical, architectural, archaeological, or cultural value regardless of the value of any existing structure.

Story - That part of a building between the surface of a floor and the ceiling immediately above.

Street-facing façade - That portion or portions of a wall of any permanent structure that is visible from and oriented parallel to a dedicated public right of way. For a structure that is not oriented parallel to the right of way, the street wall façade shall include all of the facades visible from the right of way and oriented at an angle greater than zero degrees but less than 60 degrees to the right of way.

Streetscape - The general appearance of a block or group of blocks with respect to the structures, setbacks from public rights-of-way, open space and the number and proportion of trees and other vegetation.

Structure - A walled and roofed building, including a gas or liquid storage tank, which is principally above ground, as well as a manufactured home.

Substantial improvement - Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before "start of construction" of the improvement. This includes structures which have incurred "repetitive loss" or "substantial damage", regardless of the actual repair work performed. The term does not, however, include either: (1) Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary conditions or (2) Any alteration of a "historic structure," provided that the alteration will not preclude the structure's continued designation as a "historic structure."

Subject property - The property subject to an application for development approval.

Substantial rehabilitation - Certified improvements to a historic building in which the cost of the project is equal to or greater than fifty (50) percent of the appraised pre-rehabilitation improvement value of the property and which constitutes major work on enhancing existing mechanical or structural systems that preserve the historical integrity, while extending the life of the building.

Stoop – A small open porch or platform with steps leading up to the entrance of a building and may extend up to 6 feet from the front façade.

Transparency percentage – refers to the amount of surface area of a porch enclosure (walls or vertical surfaces) that must be constructed of transparent materials compared to the total surface area of the enclosure.

Transparent - Capable of transmitting light in a manner which permits a person standing outside of a building to view shapes, tones, and objects inside a building. A tinted window is considered “transparent” if it meets the requirements recited herein.

Use - The purpose for which land or structures thereon is designed, arranged or intended to be occupied or used, or for which it is occupied, maintained, rented or leased.

Vertical/Height – See Building height

Window - An opening constructed in a wall and which admits light or air to an enclosure, is framed and spanned with glass, and which may be mounted to permit opening and closing.

Yard - An area on a lot between the lot line and the nearest principal structure, unoccupied and unobstructed by any portion of a structure from the ground upward, except as otherwise provided in the UDC.

APPENDIX B

PROPERTY OWNERS LISTING

Section 35-335(d)(2)(c) of the NCD Enabling Ordinance requires a listing of all property owners within the boundary area.

WESTFORT NCD PROPERTY OWNERS LISTING

GARCIA, ROBERTO & MARIA	117 ALLING
GOODMAN, FRANK	121 ALLING
GOODMAN, FRANK	100 APPLER

ARMY

ANDERSEN, DAVID R & KAY	335 ARMY
ARRIAGA, VIOLA J & FRANK	218 ARMY
BECKSTEAD, AMANDA SHARPE & MICHAEL	306 ARMY
BRAVO, JOSEPH C	240 ARMY
BURNETTE, GEORGE F & NANCY S	315 ARMY
CAMPBELL TRUST, BILLIE & FRANKIE	220 ARMY
CARDENAS, FRANCES MARTHA	221 ARMY
CARTER, GREGORY N & TERRY T	235 ARMY
COHEN, EDMUND A & MARILYN L	330 ARMY
CONTI, CELESTE	338 ARMY
GABRIEL, REBECCA & JASON	239 ARMY
HARMON, IRENE JAN	337 ARMY
KEEN, RONALD W	341 ARMY
MARANTO, SHREVE L	238 ARMY
MARSHALL, JUDI MARIE	316 ARMY
MICHEL, DAVID E	237 ARMY
PEACE, ANNALISA	247 ARMY
PETERSON, JACK H & CAROLYN S	305 ARMY
PIETTE, GILBERT M & MARILYN M	262 ARMY
SAVAGE, NORDALE E	336 ARMY
SMITH, GERALD R & SUSAN C	214 ARMY
SPECIA, JOHN J & MARY A	327 ARMY
SPECIA, RICHARD A	400 ARMY
SULLIVAN, MARK	309 ARMY
TERRY LIVING TRUST	331 ARMY
VAN DYKE, VICTOR & LINDA	242 ARMY
VAN DYKE, VICTOR & LINDA A	230 ARMY
VAN DYKE, VICTOR J & LINDA	226 ARMY
VILLARREAL, DAVID A & KATHERINE S	302 ARMY
WANG, HARRY H L & KIM W	319 ARMY
WILLIAMS, JOHN F & EVELYN	320 ARMY

AVENUE B

PAN AMERICAN GOLF ASSN INC	2300 AVENUE B
PEREZ FAMILY MANAGEMENT TRUST	2023 AVENUE B

BRAHAN BLVD

KNAPP, GREGORY BRENT	326 BRAHAN BLVD
MAC LEOD, BERNADETTE & RON W	315 BRAHAN BLVD
QUINTARD, CHARLES THOMAS	225 BRAHAN BLVD
SPICER, RUSSELL D & INGEBORG	311 BRAHAN BLVD

PROPERTY OWNERS

BRAHAN BLVD

BRAHAN DEVELOPMENT LLC	250 BRAHAN BLVD
BRAHAN LLC	251 BRAHAN BLVD
BREWSTER PLACE L P	223 BRAHAN BLVD
BREWSTER, EDDIE & SHARON	305 BRAHAN BLVD
BROTHERS OF HOLY CROSS OF TEXAS, INC	320 BRAHAN BLVD
CLAFLIN, STEVEN W	353 BRAHAN BLVD
CREEDON, DANIEL F	345 BRAHAN BLVD
DANIEL F CREEDON	345 BRAHAN BLVD
DERIVERA, ALANE G	227 BRAHAN BLVD
EDMUNDS, CLEO E	231 BRAHAN BLVD
HASSMANN, STEVEN A	312 BRAHAN BLVD
KNAPP, GREGORY BRENT	330 BRAHAN BLVD
L & HB INVESTMENTS LTD	302 BRAHAN BLVD
LUPER, LUTHER O	318 BRAHAN BLVD
MICHEL, EMORY M & CONNIE J	322 BRAHAN BLVD
MURILLO, GILBERT J & JO ANN	306 BRAHAN BLVD
PARTAIN, MEGGAN & CHRISTOPHER OSIECKI	324 BRAHAN BLVD
PETERSON, JACK H & CAROLYN	303 BRAHAN BLVD
PIERCE, JOHN W & SHERRIE M	321 BRAHAN BLVD
RODRIGUEZ, JERRY	337 BRAHAN BLVD
SMALLWOOD, DAVID C	239 BRAHAN BLVD
SNIDER, JEFFREY WAYNE & CAROLINE	367 BRAHAN BLVD
STALLCUP, CHARLES T & CAROLYN D	310 BRAHAN BLVD
SWANN, MARGO ELIZABETH	359 BRAHAN BLVD
VALDEZ, RAMIRO C JR	255 BRAHAN BLVD
ZAINIE, CARLA M	316 BRAHAN BLVD

BROADWAY

BEDROCK ENTERPRISES INC	2402 BROADWAY
BRACKENRIDGE PARK/BROADWAY DEVELOPMENTS LTD	2520 BROADWAY
CANNON, WINDELL W & CAMILLE	2500 BROADWAY
CARLOS ROBERTO ARCHITECT PLLC	2106 BROADWAY
COMPOUND RESIDENCES LLC	2519 BROADWAY
DALRYMPLE, SHARON FAMILY LTD PARTNERSHIP	2012 BROADWAY
FIESTA SAN ANTONIO COMM INC	2603 BROADWAY
GOODMAN, LARRY	2424 BROADWAY
GUENTHER DEVELOPMENT LLC	2303 BROADWAY
GUENTHER DEVELOPMENT LLC	2203 BROADWAY
GUENTHER DEVELOPMENT LLC	2311 BROADWAY
GUENTHER DEVELOPMENT LLC	2201 BROADWAY

WESTFORT NCD PROPERTY OWNERS LISTING

BROADWAY

HUDDLESTON, GLENN/ ALICE LLC	2503 BROADWAY
KREUSEL, ELIZABETH KOCIAN	2202 BROADWAY
KREUSEL, ELIZABETH KOCIAN	2122 BROADWAY
LAST CHANCE ENTERPRISES LTD	2000 BROADWAY
LOS LEONES FAMILY LP	2212 BROADWAY
LOS LEONES FAMILY LTD PRTSHP	2218 BROADWAY
MOREHOUSE, JEFF	2515 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2023 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2100 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2110 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2112 BROADWAY
PEREZ FAMILY MANAGEMENT TRUST	2027 BROADWAY
RSI PROPERTIES INC	2425 BROADWAY
SANO, STEVEN K	2615 BROADWAY
SCB PROPERTIES LTD	2001 BROADWAY
SCOTT CLEANERS LP	2501 BROADWAY
SOVRAN ACQUISITION LTD PARTNERSHIP	2300 BROADWAY
SUMMER CLASSICS II LLC	2600 BROADWAY
TASTE FOOD PRODUCTS INC	2020 BROADWAY
THE COURTYARD AT BRACKENRIDGE PARK OWNERS ASSOCIATION	2632 BROADWAY
TURGEON, LAWRENCE L	2411 BROADWAY
WITTIG, JOE / MARK	2013 BROADWAY
ZINTGRAFF INVESTMENTS LTD	2625 BROADWAY

CUNNINGHAM AVE

BARRERA, MANUEL SR & VIRGINIA Z	227 CUNNINGHAM AVE
BEDELL, MARY B	251 CUNNINGHAM AVE
FREDERICK, VERA ANN	215 CUNNINGHAM AVE
HEROLD, JOHN P	247 CUNNINGHAM AVE
MARIN, ALFONSO & RACHEL R	219 CUNNINGHAM AVE
MARIN, ALFONSO & RACHEL R	223 CUNNINGHAM AVE
PETERSON, JACK H & CAROLYN	203 CUNNINGHAM AVE
QUITANILLA, CHRISTINA	263 CUNNINGHAM AVE
RICONDO, JOSE	255 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	235 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	239 CUNNINGHAM AVE
VALDEZ, ISABEL OLIVAREZ	243 CUNNINGHAM AVE
WARD, RONALD NEHEN	211 CUNNINGHAM AVE
WENDORFF, THOMAS C & ELISA	259 CUNNINGHAM AVE

E. JOSEPHINE

GUTIERREZ, RAFAEL & MARIA R	823 E. JOSEPHINE
MARTINEZ, MICHAEL A & MARTHA L	815 E. JOSEPHINE
ZAVALA, MARTIN R	813 E. JOSEPHINE

PROPERTY OWNERS

E. JOSEPHINE	
ALVAREZ, MANUEL VARGAS JR & MICHELLE L	817 E. JOSEPHINE
BEXAR COUNTY MHMR CENTER	711 E. JOSEPHINE
CARTER, KYONG	519 E. JOSEPHINE
FIELDS, EDWARD D	821 E. JOSEPHINE
MUNOZ, SANTA ANN	819 E. JOSEPHINE
NOBLE, DANIEL L	807 E. JOSEPHINE
NOBLE, DANIEL L	805 E. JOSEPHINE
SEESGOOD, EARL	811 E. JOSEPHINE
SULLIVAN, CHRISTINE ANN	809 E. JOSEPHINE
N. ALAMO ST.	
ALAMO COMMUNITY COLLEGE DISTRICT	2222 N. ALAMO ST
HASSLOCHER, CARYN M	2011 N. ALAMO ST
RYAN, SANDRA	2019 N. ALAMO ST
VALDEZ, BERNARDA S ALVAREZ	2023 N. ALAMO ST
NIKIA ST.	
BRINKLEY, RICCI LON	310 NIKIA ST
CITY OF SAN ANTONIO	302 NIKIA ST
ESPARZA, MARY LOUISE	314 NIKIA ST
GARCIA, ADAN JR	330 NIKIA ST
HADLEY III, DANIEL RICHARD	338 NIKIA ST
MEDINA, REYNALDO & MARIA I	318 NIKIA ST
MORAN, LOUIS RICHARD & JEANETTE M	334 NIKIA ST
NOBLE, DANIEL L	306 NIKIA ST
PENA, LARRY L	342 NIKIA ST
RODRIGUEZ, MARY	322 NIKIA ST
ZAVALA, MARTIN R	326 NIKIA ST
POST	
BARFIELD, JOSEPH H	280 POST
CARSELLO, DEAN M	260 POST
DAVID MORENO CONSTRUCTION LLC	270 POST
FLORES, BALDEMAR R & BEATRICE C	274 POST
HARGROVE, CLAIRE G	238 POST
HASSMANN, STEVE & SUSAN	293 POST
HENDRIX, TABITHA A	224 POST
JOHNSON, FREDERICA B & ROBERT C	264 POST
OLIVER, RETHA	266 POST
ONE MOON INVESTMENTS LLC	222 POST
PREVUZNAK, MINERVA	237 POST
SCHREIBER, FERDINAND G & GUADALUPE	265 POST
SOLIS, JESUS	241 POST
STINE, OLGA C	236 POST
TERRY LIVING TRUST	228 POST
WOMAN AT THE WELL HOUSE MINISTRIES INC.	221 POST

WESTFORT NCD PROPERTY OWNERS LISTING

POST

BALLEZA, RAQUEL A	285 POST
BISNETT, TERESA O & JAMES N	275 POST
FARRELL III, WILLIAM T	217 POST
HASSMANN, STEVEN A	277 POST
HEADY, JAMES L	240 POST
HERNANDEZ, JOSE M & ANA M	248 POST
KNAPP, GREGORY BRENT	245 POST
PARKER, MARY & SCOTT L	231 POST
SELF, KATHY SUE	269 POST
SOLIS, JESUS	261 POST
SOLIS, JESUS	253 POST
TORRES, ALBINO & CINDY JO	282 POST
WISE KNOWLEDGE SYSTEMS INC	292 POST

APPENDIX C

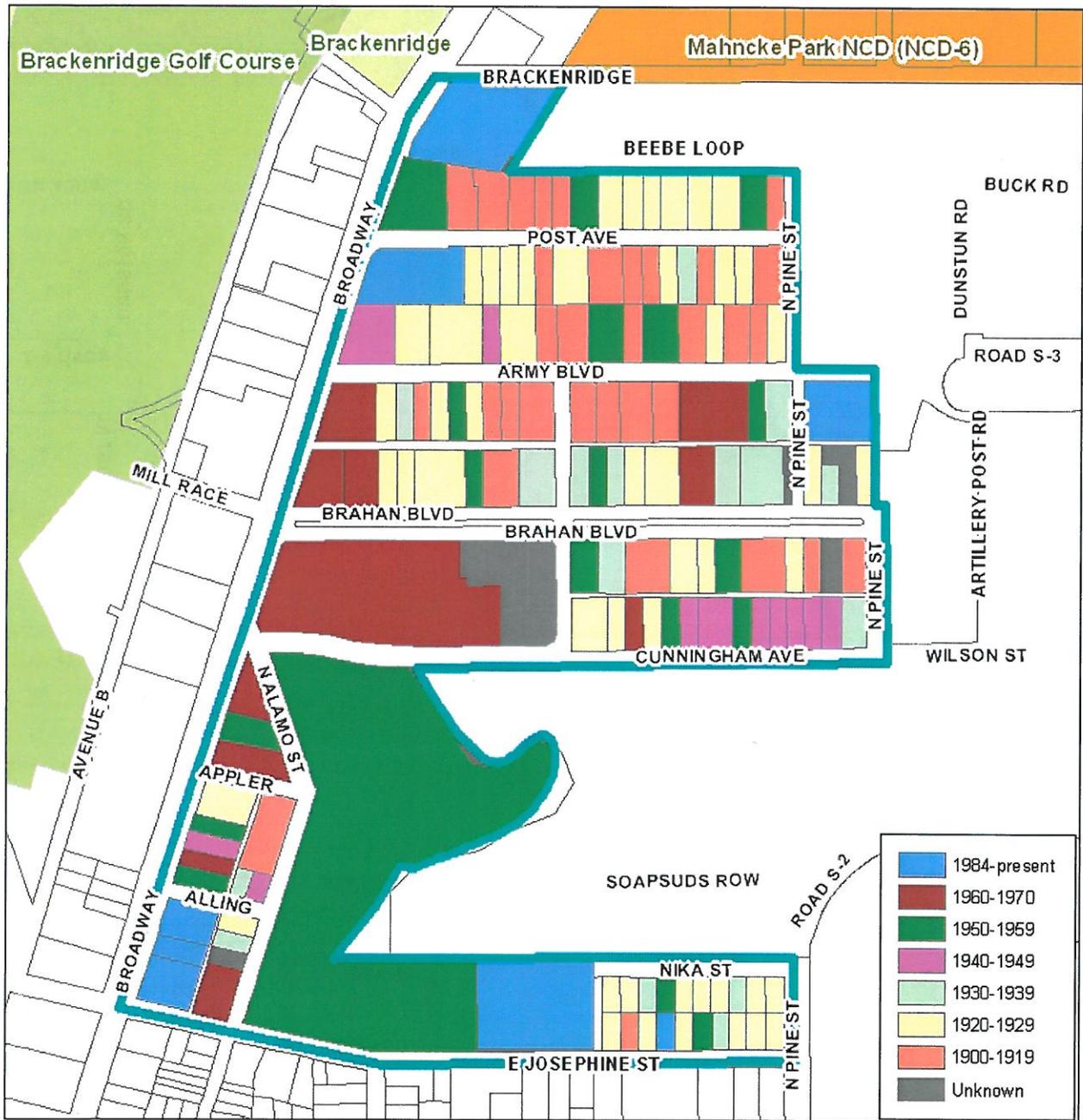
NEIGHBORHOOD CHARACTER MAPS

The **Age of Structures** map represents the requirement for NCD designation based on Bexar County Appraisal information. Neighborhood Conservation Districts can be established in areas that possess distinctive character-defining features, where at least 75% of the land area within the district is improved or developed. The Westfort Alliance NCD meets the ordinance requirement with 84% of the land area containing structures that are at least 25 years old and presently improved. According to Bexar County Appraisal data, 82% of the Westfort neighborhood structures were built prior to 1960.

The following maps reflect the general character of the area and helped guide the planning team throughout the creation of the design standards.

MAP AND SURVEY DATA DISCLAIMER

Each of the following character maps were created from individual lot surveys conducted by the Westfort Alliance planning team. These results provide a general overview of design and feature characteristics of the collective neighborhood and do not necessarily represent the condition or state of a specific property. While inaccuracies may exist with some individual property surveys, the collective results were used as the basis for creating the Westfort NCD design standards.



AGE OF STRUCTURES

SURVEY DATA

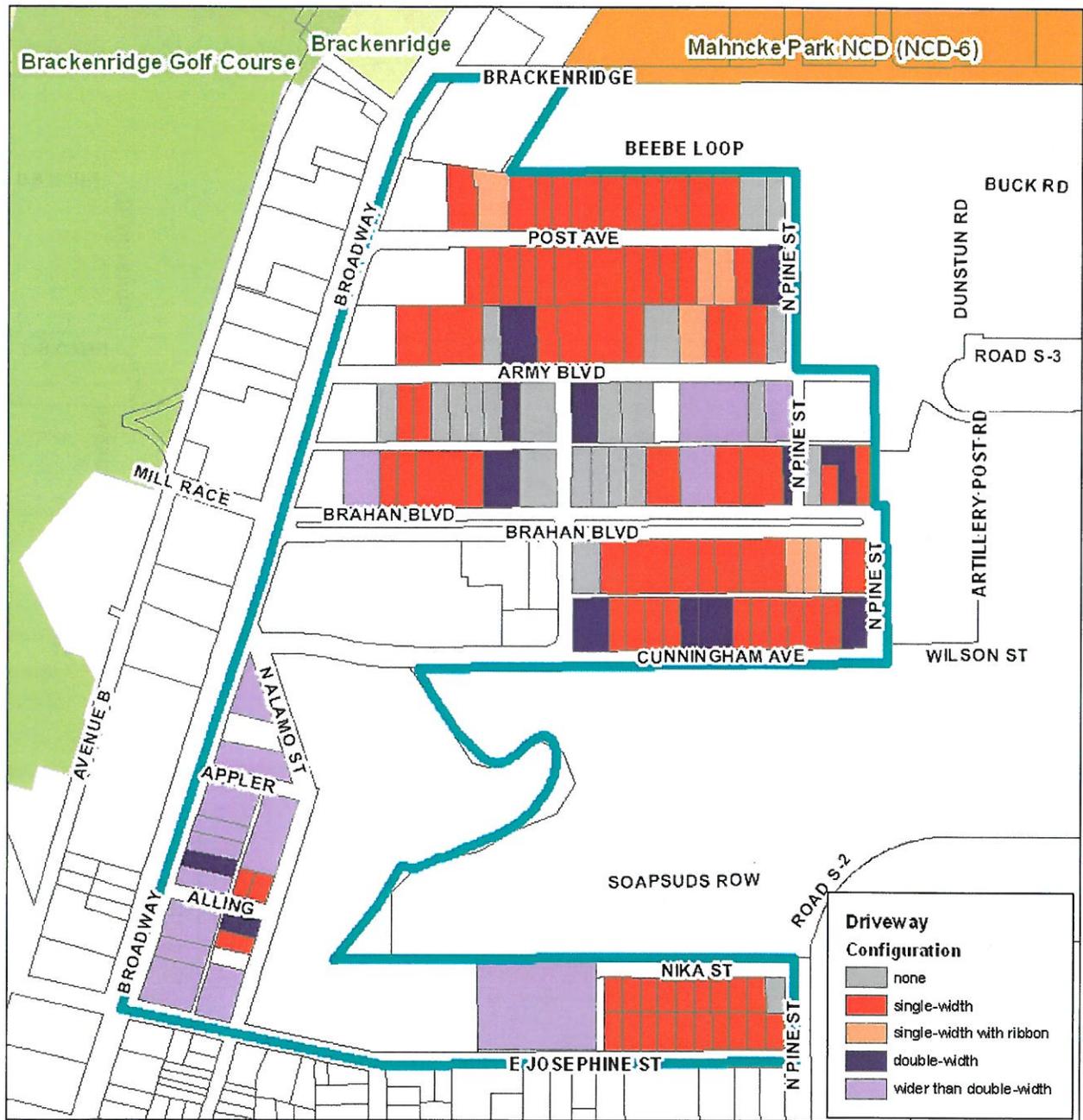
**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio



0 250 500 1,000 Feet

NCD 9



DRIVEWAYS

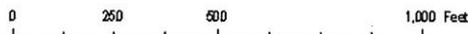
SURVEY DATA

Westfort Alliance Neighborhood Conservation District

City of San Antonio



AMERICAN COLLEGE OF NEIGHBORHOOD CONSERVATION DISTRICTS (ACNCND) 2008 APPROVED 2008
 THE CITY OF SAN ANTONIO, TEXAS
 100 MARKET STREET, 15TH FLOOR
 SAN ANTONIO, TEXAS 78203
 TEL: 214.747.3000
 WWW.SANANTONIO.GOV

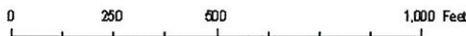




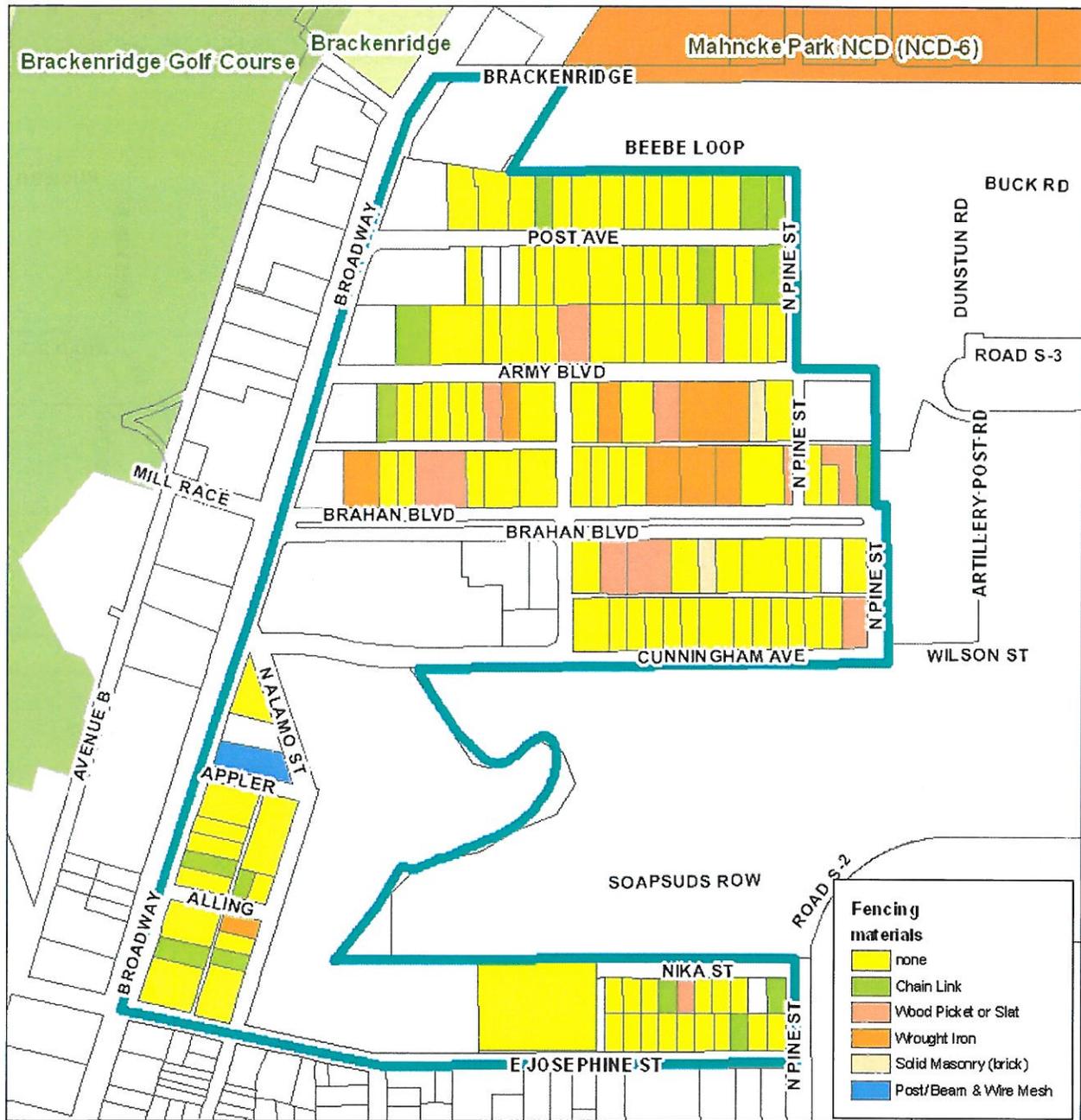
DRIVEWAY TYPE SURVEY DATA

**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio



NCD 9



FENCING MATERIAL

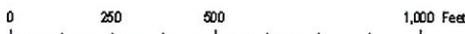
SURVEY DATA

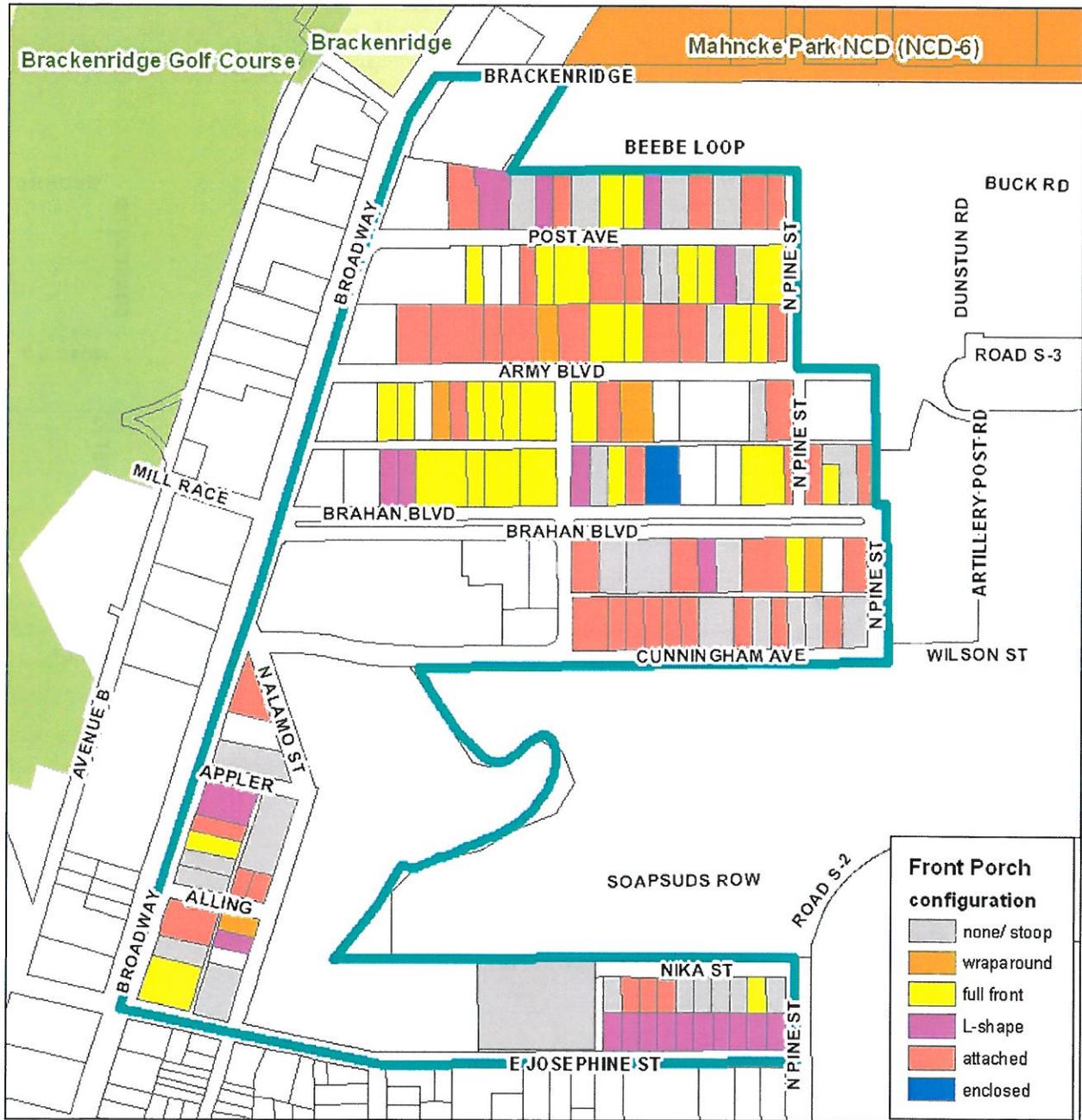
Westfort Alliance Neighborhood Conservation District

City of San Antonio



Copyright © 2011 by the City of San Antonio. All rights reserved. This map is a public record of the City of San Antonio. It is not to be used for any other purpose without the express written permission of the City of San Antonio. The City of San Antonio is not responsible for any errors or omissions on this map. The City of San Antonio is not responsible for any damages, including consequential damages, arising from the use of this map. The City of San Antonio is not responsible for any claims, including consequential claims, arising from the use of this map. The City of San Antonio is not responsible for any losses, including consequential losses, arising from the use of this map. The City of San Antonio is not responsible for any actions, including consequential actions, arising from the use of this map. The City of San Antonio is not responsible for any inactions, including consequential inactions, arising from the use of this map. The City of San Antonio is not responsible for any consequences, including consequential consequences, arising from the use of this map. The City of San Antonio is not responsible for any results, including consequential results, arising from the use of this map. The City of San Antonio is not responsible for any outcomes, including consequential outcomes, arising from the use of this map. The City of San Antonio is not responsible for any effects, including consequential effects, arising from the use of this map. The City of San Antonio is not responsible for any impacts, including consequential impacts, arising from the use of this map. The City of San Antonio is not responsible for any consequences, including consequential consequences, arising from the use of this map. The City of San Antonio is not responsible for any results, including consequential results, arising from the use of this map. The City of San Antonio is not responsible for any outcomes, including consequential outcomes, arising from the use of this map. The City of San Antonio is not responsible for any effects, including consequential effects, arising from the use of this map. The City of San Antonio is not responsible for any impacts, including consequential impacts, arising from the use of this map.



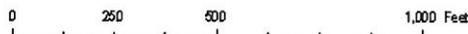


FRONT PORCH

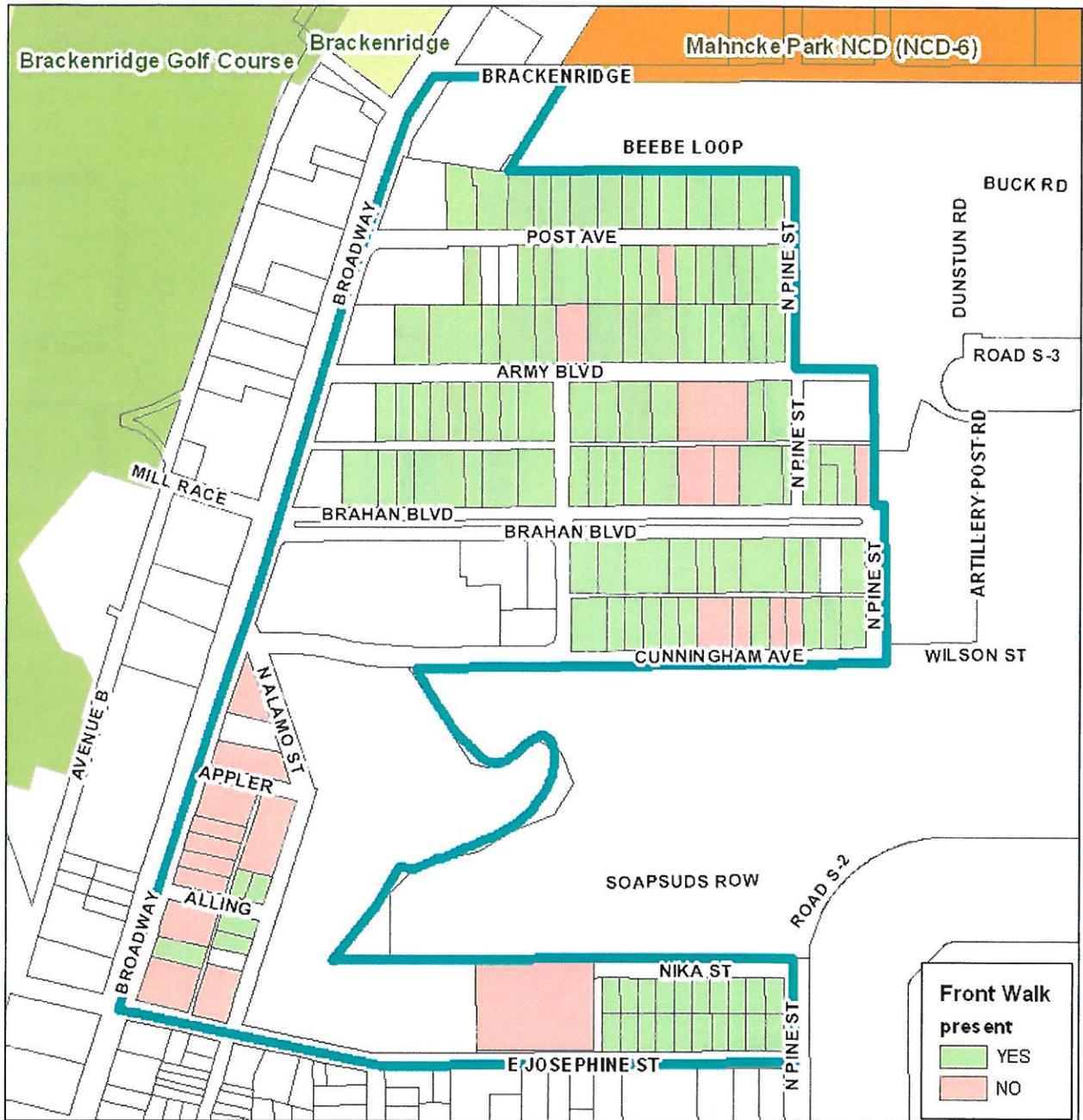
SURVEY DATA

**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio



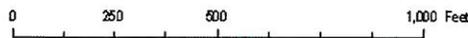
APPLICABLE TO THE WESTFORT ALLIANCE NEIGHBORHOOD CONSERVATION DISTRICT, MAP NO. 1777, WEST FORT ALLIANCE, SAN ANTONIO, TEXAS. THIS MAP IS A REPRODUCTION OF THE ORIGINAL MAP AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE ORIGINAL MAP IS ON FILE IN THE OFFICE OF THE CITY ENGINEER, SAN ANTONIO, TEXAS. THE ORIGINAL MAP WAS DATED 1988.



FRONT WALK SURVEY DATA

Westfort Alliance Neighborhood Conservation District

City of San Antonio





SIDEWALK CONDITION

SURVEY DATA

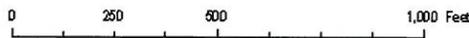
**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio

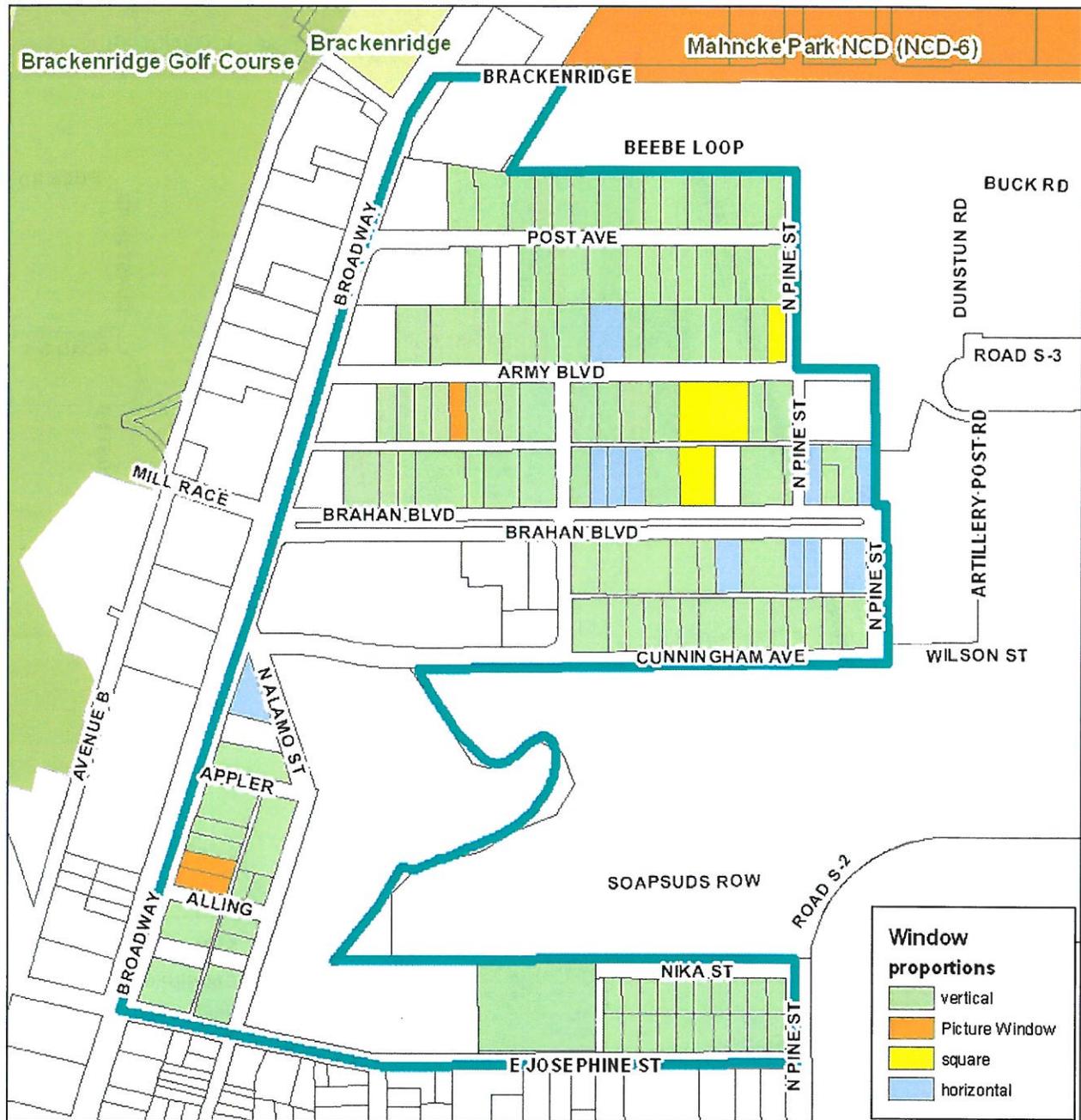


Westfort Alliance Neighborhood Conservation District Survey Data
 Survey conducted on 08/14/2018 by City of San Antonio
 Survey Data provided by City of San Antonio
 Survey Data provided by City of San Antonio
 Survey Data provided by City of San Antonio

City of San Antonio
 Planning and Economic Development
 100 N. N. St. Antonio, TX 78202
 210.471.4000
 www.sanantonio.gov



NCD 9

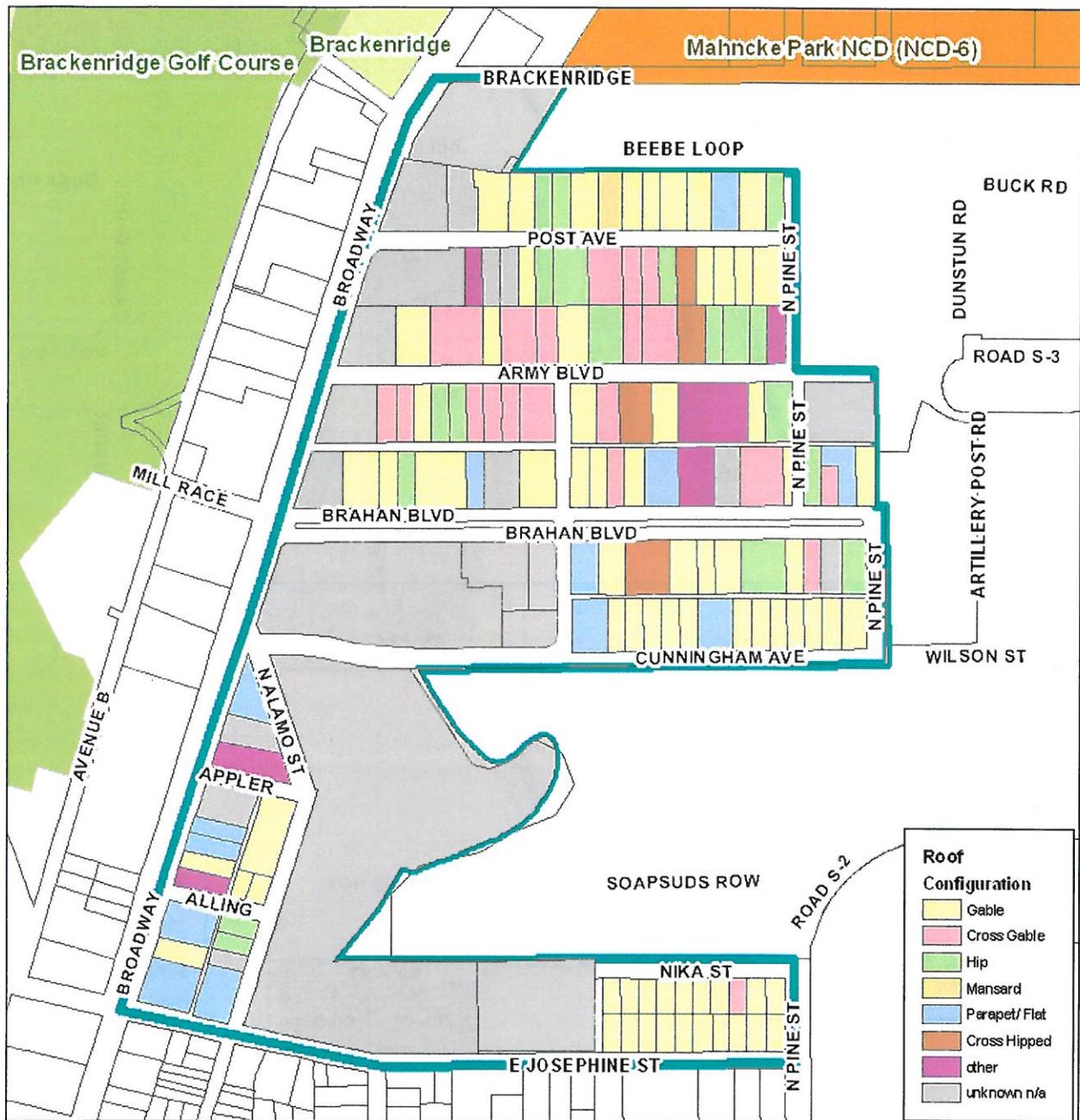


WINDOW CONFIGURATION SURVEY DATA

**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio





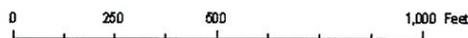
ROOF CONFIGURATION SURVEY DATA

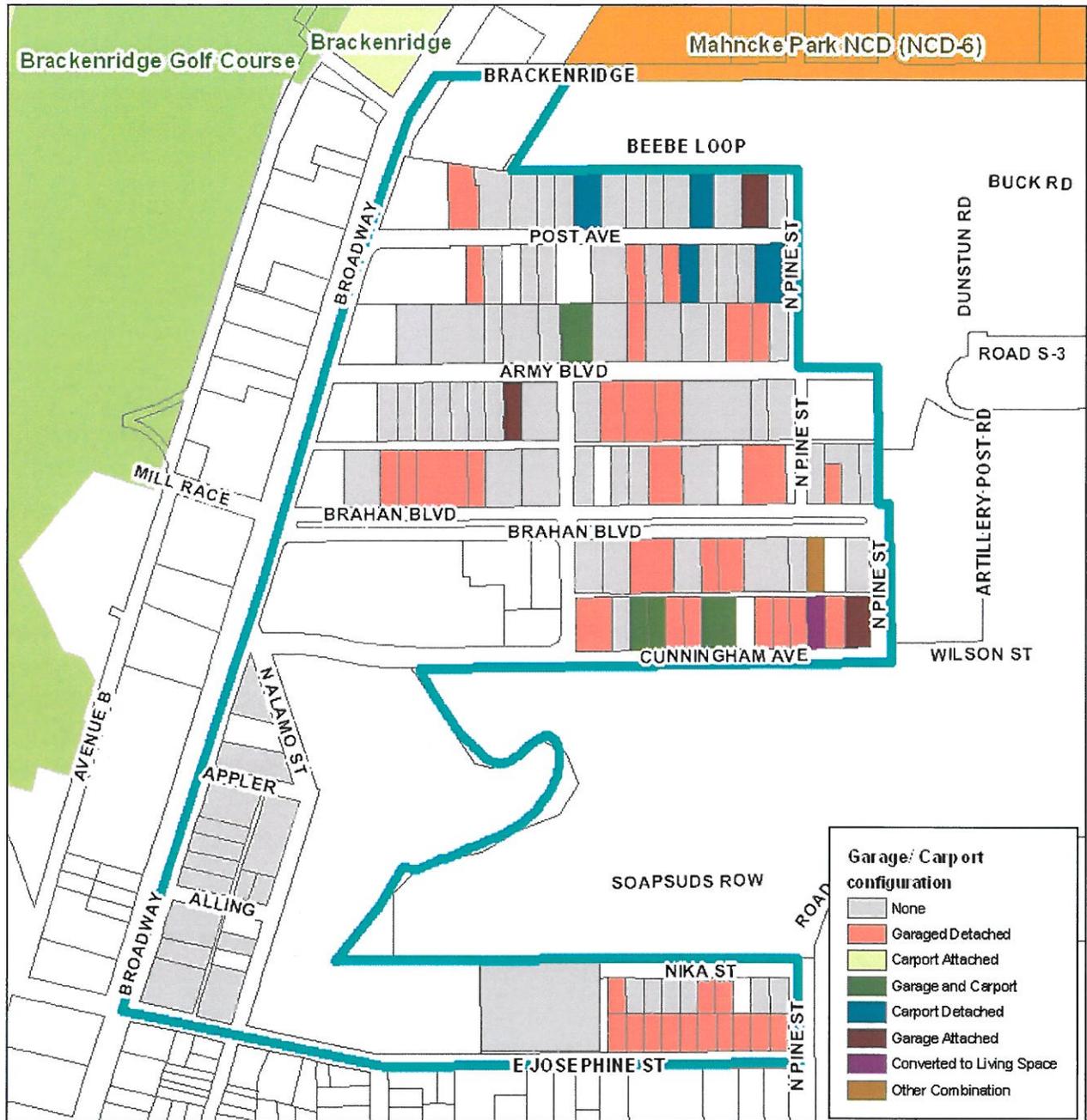
Westfort Alliance Neighborhood Conservation District

City of San Antonio



2011 Survey Data for Westfort Alliance Neighborhood Conservation District
 Prepared by the City of San Antonio, Planning and Economic Development Department
 Survey Date: September 2011
 Surveyor: [Name]
 City of San Antonio, Planning and Economic Development Department
 1222 N. N. Loop West, Suite 1000
 San Antonio, TX 78207
 Phone: (210) 204-1000
 Fax: (210) 204-1001
 Website: www.sanantonio.gov

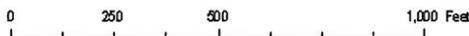




GARAGE/ CARPORT CONFIGURATION SURVEY DATA

**Westfort Alliance
Neighborhood Conservation District**

City of San Antonio



DATE: 01/15/2014
DRAWN BY: [Name]
PROJECT: [Name]
SHEET: [Number]

NCD 9

APPENDIX D

NCD MEETING SCHEDULE

PUBLIC PLANNING PROCESS

Public Meetings

First Public Meeting: February 23, 2011

Second Public Meeting: May 25, 2011

Third Public Meeting: June 21, 2011

Planning Team Meetings

December 1, 2010

January 11, 2011

January 31, 2011

March 9, 2011

March 23, 2011

April 6, 2011

April 20, 2011

April 27, 2011

May 11, 2011

May 18, 2011

June 1, 2011

June 8, 2011

August 24, 2011



Zoning Commission Meetings

August 16, 2011	Commission Briefing
September 6, 2011	First Public Hearing
September 20, 2011	Second Public Hearing



City Council Hearing

October 6, 2011 Final Consideration

ATTACHMENT 1

ZONING RESOLUTION

RESERVED FOR ZONING DOCUMENTATION

RESERVED FOR ZONING DOCUMENTATION

ATTACHMENT 2

CITY COUNCIL ORDINANCE

RESERVED FOR ORDINANCE

RESERVED FOR ORDINANCE

RESERVED FOR ORDINANCE

WESTFORT ALLIANCE NEIGHBORHOOD CONSERVATION DISTRICT

BROADWAY

POST AVE

ARMY BLVD

BRAHAN BLVD

CUNNINGHAM AVE

N. ALAMO

NIKA STREET

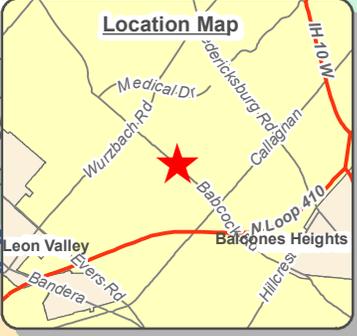
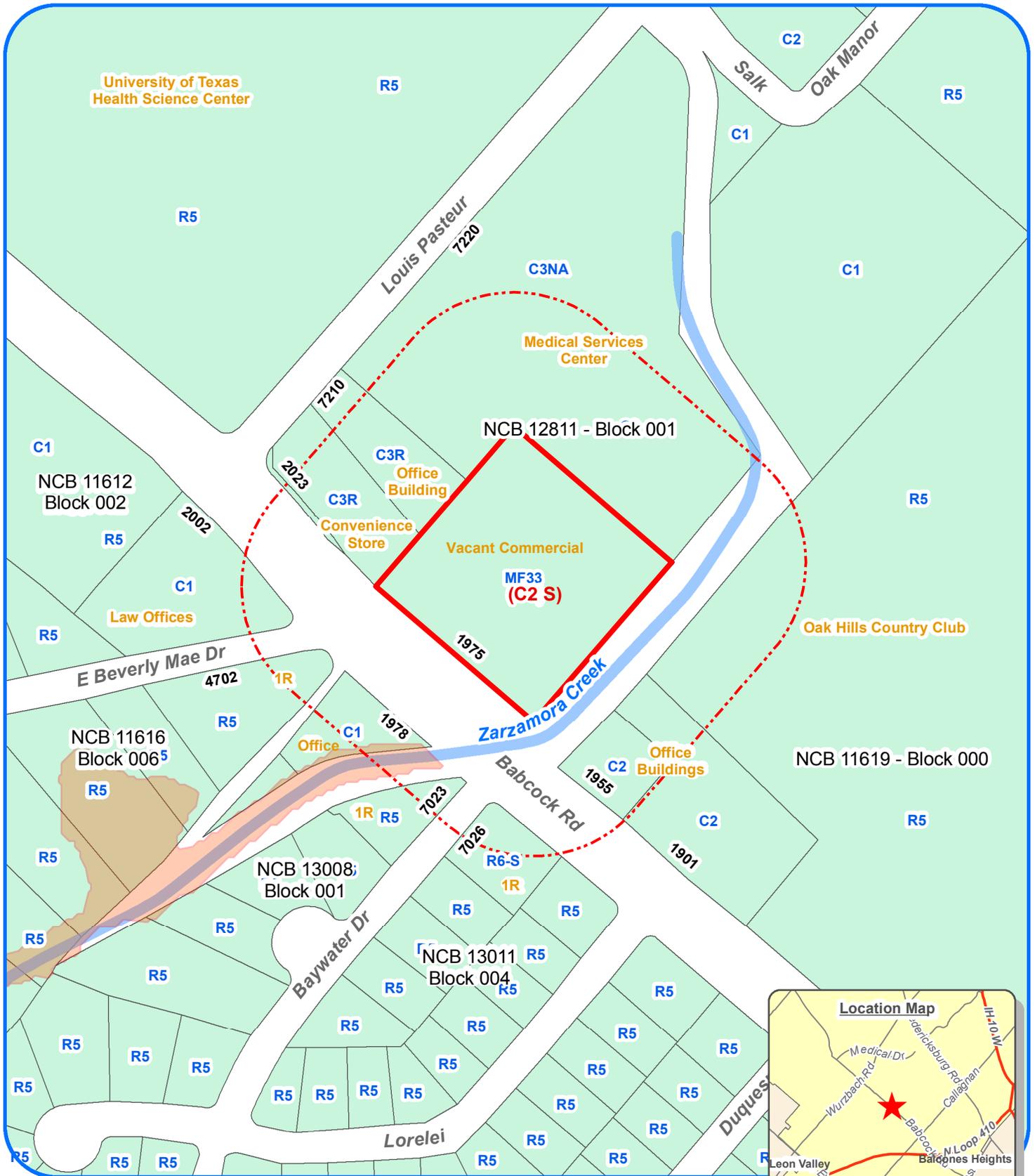
E. JOSEPHINE

N. PINE

APPLER

ALLING





Zoning Case Notification Plan

Case Z-2011-186 S

Council District 8

Scale: 1" approx. = 200 ft.

Subject Property Legal Description(s): NCB 12811 - Block 001 - SW 315 ft of W 310 ft of Lot 40

Legend

- Subject Properties (2.241 Acres) ———
- 200' Notification Area - - - - -
- Current Zoning TEXT
- Requested Zoning Change TEXT
- 100-Year DFIRM Floodplain ———
- Single Family Residential 1R



Development Services Dept
City of San Antonio
(08/24/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio

Development Services Department

Staff Report

To: Zoning Commission

Zoning Case #: Z2011186 S

Hearing Date: September 20, 2011

Property Owner: C & I Real Estate, LLC

Applicant: Lorri Orr w/Express Permit Services

Representative: Lorri Orr w/Express Permit Services

Location: 1975 Babcock Road; Located on the northeast side of Babcock Road, southeast of Louis Pasteur.

Legal Description: The southwest 315 feet of the west 310 feet of Lot 40, Block 1, NCB 12811 (also known as 2.241 acres out of NCB 12811)

Total Acreage: 2.241

City Council District: 8

Case Manager: Brenda Valadez, Planner

Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "MF-33 AHOD" Multi Family Airport Hazard Overlay District

Requested Zoning: "C-2 S AHOD" Commercial Airport Hazard Overlay District with a Specific Use Authorization for a Hospital

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 7, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 12

Neighborhood Associations: Dreamhill Estates Neighborhood Association

Planning Team Members: 41 (North Sector Plan)

Applicable Agencies: None

Property Details

Property History: The subject site is currently developed with a structure measuring 61,358 square feet. According to the Bexar County Appraisal District, the 61,358 square foot structure was constructed in 1969. The property was annexed in 1952, and was originally zoned "D" Apartment District. Upon adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "MF-33" Multi-Family District.

Topography: The property does not include any abnormal physical features such as slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North

Current Base Zoning: C-3

Current Land Uses: Medical services and Offices

Direction: South

Current Base Zoning: C-2, R-6 and R-5

Current Land Uses: Offices and Single-family residences

Direction: East

Current Base Zoning: C-1 and R-5

Current Land Uses: Medical services and the Oak Hills Country Club

Direction: West

Current Base Zoning: C-1 and R-5

Current Land Uses: Office and Single family residences

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: Babcock Road

Existing Character: Primary Arterial Type A; 3 lanes in each direction

Proposed Changes: None known

Thoroughfare: Louis Pasteur

Existing Character: Collector Street; 2 lanes in each direction

Proposed Changes: None known

Public Transit: The nearest VIA busline is the number 522 that operates along Babcock Road.

Traffic Impact: A Traffic Impact Analysis is not required.

Parking Information: Minimum Parking Requirement: 1 space per 400 square feet of GFA

Maximum Parking Requirement: 1 space per 100 square feet of GFA

Staff Analysis and Recommendation: Approval

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The property is located within the North Sector Plan and is currently designated as “Regional Center” in the Future Land Use Plan. The zoning request is consistent with the Future Land Use designation.

2. Adverse Impacts on Neighboring Lands:

Staff has found no evidence of adverse impacts that may be caused by approval of the requested zoning. The proposed reuse of the existing structure is appropriate for the subject property. This property is located at the periphery of the Medical Center area, thus, a hospital is an appropriate use for this tract.

3. Suitability as Presently Zoned:

The subject property’s current zoning is appropriate. Multi-family zoning is most appropriate at the periphery of single-family neighborhoods, and along arterials or major thoroughfares where supporting infrastructure, such as public transportation and commercial facilities are present. The site is located in an area where there is accessibility to public services and traffic circulation to major thoroughfares

4. Health, Safety and Welfare:

Staff has found no indication of likely adverse effects on the public health, safety or welfare.

5. Public Policy:

The request is consistent with the North Sector Plan, which is a component of the City’s Master Plan.

6. Size of Tract:

The subject property is 2.241 acres, which should be able to reasonably accommodate the proposed commercial use with adequate spaces for parking and loading (see attached site plan).

7. Other Factors:

The property has an existing 8-foot fence along the side and rear property lines. According to Section 35-514 (d)(2)(D) “additional fence height is permitted by the City Council pursuant to a rezoning or Specific Use Authorization.” Based on surrounding land uses and the layout of the property, staff does not oppose the applicant’s request for the additional fence height.



Zoning Case Notification Plan

Case Z2011187

Council District 5

Scale: 1" approx. = 100 ft.

Subject Property Legal Description(s): NCB 02249 - Block 010 - Lot 23

Legend

- Subject Properties (0.376 Acres)
- 200' Notification Area
- Current Zoning **TEXT**
- Requested Zoning Change **(TEXT)**
- 100-Year DFIRM Floodplain
- Single Family Residential **1R**



Development Services Dept
City of San Antonio
(08/25/2011 - E Hart)

Note: All Current and Requested Zoning includes AHOD Zoning (Airport Hazard Overlay District).



City of San Antonio Development Services Department Staff Report

To: Zoning Commission
Zoning Case #: Z2011187
Hearing Date: September 20, 2011
Property Owner: Alfonso & Jo Marie Cano
Applicant: Dennis Cano
Representative: Dennis Cano
Location: 407 North Zarzamora
Legal Description: Lot 23, Block 10, NCB 2249
Total Acreage: 0.3759 of an acre
City Council District: 5
Case Manager: Micah Diaz, Planner
Case History: This is the first public hearing for this zoning case.

Proposed Zoning Change

Current Zoning: "C-2 AHOD" Commercial Airport Hazard Overlay District

Requested Zoning: "C-2 IDZ AHOD" Commercial Infill Development Zone Airport Hazard Overlay District

Procedural Requirements

The request was publicly noticed in accordance with Section 403 of the Unified Development Code (UDC). The application was published in The Daily Commercial Recorder, an official newspaper of general circulation on September 2, 2011. Notices were sent to property owners and registered neighborhood associations within two hundred (200) feet of the subject property on September 9, 2011. Additionally, notice of this meeting was posted at city hall and on the city's internet website on September 16, 2011, in accordance with Section 551.043(a) of the Texas Government Code.

Notices Mailed

Owners of Property within 200 feet: 41

Neighborhood Associations: Prospect Hill Neighborhood Association

Planning Team Members: None

Applicable Agencies: None

Property Details

Property History: The subject property is located within the city limits as they were recognized in 1938, and was originally zoned "G" Local Retail District. Upon the adoption of the 2001 Unified Development Code, the previous base zoning district converted to the current "C-2" Commercial District. The property was platted into its current configuration in 2008 (volume 9582, page 76) and is currently undeveloped.

Topography: The property does not include any abnormal physical features such as significant slope or inclusion in a flood plain.

Adjacent Zoning and Land Uses

Direction: North, west, east and south

Current Base Zoning: "C-2" Commercial District

Current Land Uses: Vacant commercial structures, undeveloped lots, single-family residences, salons, offices, carwash, retail, restaurant, bar/nightclub

Direction: West, northwest, southwest

Current Base Zoning: "MF-33" Multi-Family District

Current Land Uses: Single-family residences

Direction: Northeast

Current Base Zoning: "C-3NA" General Commercial Nonalcoholic Sales District

Current Land Uses: Tire repair

Overlay and Special District Information: All surrounding properties carry the "AHOD" Airport Hazard Overlay District, due to their proximity to an airport or approach path. The "AHOD" does not restrict permitted uses, but can require additional review of construction plans by both the Development Services Department and the Federal Aviation Administration.

Transportation

Thoroughfare: North Zarzamora

Existing Character: Secondary Arterial Type B; two lanes in each direction with sidewalks

Proposed Changes: None known

Thoroughfare: Gould Street, West Salinas, and Huntington

Existing Character: Local streets; one lane in each direction; no center stripes

Proposed Changes: None known

Thoroughfare: West Martin Street

Existing Character: Collector; two lanes in each direction

Proposed Changes: None known

Public Transit: VIA bus line 520 operates along Zarzamora with multiple bus stops in close proximity to the subject property. Other bus lines operate in the area.

Traffic Impact: A Traffic Impact Analysis is not required. Infill Development Zone (IDZ) requests are exempt from the TIA requirement.

Parking Information: The "IDZ" Infill Development Zone District eliminates off-street parking requirements.

Staff Analysis and Recommendation: Approval.

Criteria for Review: According to Section 35-421, zoning amendments shall be based on the approval criteria below.

1. Consistency:

The subject property is not located within a Neighborhood, Community or Sector Plan area.

2. Adverse Impacts on Neighboring Lands:

Approval of "IDZ" Infill Development Zone will reduce required building setbacks and waive minimum vehicle parking requirements. However, "IDZ" includes design criteria intended to create infill development that is proportional to surrounding development.

3. Suitability as Presently Zoned:

The existing "C-2" zoning district is likely appropriate for the subject property given the location on a major thoroughfare and the established pattern of commercial development in the area.

4. Health, Safety and Welfare:

Staff has found no evidence of likely negative impacts on public health, safety or welfare related to the zoning request.

5. Public Policy:

The subject property and the proposed development meet the criteria of the Inner City Reinvestment Infill Policy (ICRIP). This policy provides development fee waivers to applicants and grant funded reimbursement for city departments, in an effort to encourage redevelopment of under-utilized urban properties.

6. Size of Tract:

Due to the residential use abutting the subject property, a 30-foot rear building setback will be required under the current zoning, rendering a significant portion of the property unusable. Although the "IDZ" district waives on-site parking requirements, the property is of sufficient size to accommodate development and parking through the benefit of reduced building setbacks.

7. Other Factors:

None.